

HERITAGE ADVISORY COMMITTEE MEETING AGENDA

TOWN OF LUNENBURG

Thursday, August 31, 2023, at 6 pm

Council Chamber, 120 Townsend St. and Zoom Webinar



Notice: Heritage Advisory Committee meetings are held in person at Town Hall. Members of the public can attend meetings in person or participate in this meeting through the Zoom livestream. To livestream this meeting starting at 6 pm, use this Zoom link: <https://us06web.zoom.us/j/89338143588>

1. CALL TO ORDER

2. LAND ACKNOWLEDGEMENT

Acknowledgement of Mi'kma'ki the Ancestral and Unceded Territory of the Mi'kmaq People

3. APPROVAL OF AGENDA

Draft motion: Moved and seconded that the Heritage Advisory Committee approve the agenda for the August 31, 2023, meeting as presented.

4. APPROVAL OF MINUTES

Draft motion: Moved and seconded that the Heritage Advisory Committee approve the minutes of the July 7, 2023, meeting as presented.

5. BUSINESS ARISING FROM THE MINUTES/UNFINISHED BUSINESS

N/A

6. NEW BUSINESS

6.1 Proposed Alteration to Municipal Heritage Property – 207 Montague Street

Draft motion: The Heritage Advisory Committee recommends that Council deny the proposed alteration to 207 Montague Street and the Heritage Officer not issue a Heritage Permit.

6.2 Proposed Alteration to Municipal Heritage Property – Old New Town School

Draft Motion: The Heritage Advisory Committee recommends that Council approve the proposed alterations to Old New Town School and direct the Heritage Officer to issue a Heritage Permit.

6.3 Information Memo: Blockhouse Hill Design Project Public Engagement

7. NEXT MEETING

7.1 September 13, 2023 at 6:00 p.m.

8. ADJOURNMENT

TOWN OF LUNENBURG
HERITAGE ADVISORY COMMITTEE MEETING
RECOMMENDATIONS
July 10, 2023

To recommend that Council approve the proposed alterations to Mizpah Cottage's Carriage Shed at 75 Dufferin Street and direct the Heritage Officer to issue a Heritage Permit accordingly.

To recommend that Council approve the proposed alterations to Old New Town School and direct the Heritage Officer to issue a Heritage Permit accordingly with the condition that the design is modified to comply with the Design Guidelines of the Old Town Lunenburg Heritage Conservation district By-law.

DRAFT

TOWN OF LUNENBURG
HERITAGE ADVISORY COMMITTEE MEETING MINUTES

July 10, 2023 | 6 pm

Lunenburg Town Hall -Council Chamber



Present	<p>Councillor Stephen Ernst, Chair Councillor Jenni Birtles Faune Creaser, Citizen Representative Nathalie Irving, Lunenburg Heritage Society Representative Oliver Osmond, Lunenburg Heritage Society Representative Arthur MacDonald, Director of Community Development Hilary Grant, Senior Planner/Heritage Officer Trevor Hume, Planner/Development Officer Ann Covey, Recording Secretary</p>
Call to Order	<p>The Chair called the meeting to order at 6:00 p.m.</p>
Land Acknowledgment	<p>The Chair recognized Lunenburg's location on the unceded territory of the Mi'kmaq people.</p>
Approval of Agenda	<p>Moved and seconded that the Committee approve the agenda for the July 10, 2023 meeting as presented with the exception of items 6.1 and 6.2 being dealt with in reverse order.</p> <p style="text-align: right;">Motion carried unanimously</p>
Approval of Minutes	<p>Moved and seconded that the Committee approve the minutes of the June 26, 2023 meeting as presented.</p> <p style="text-align: right;">Motion carried unanimously</p>
Business Arising	<p>None.</p>
Proposed Alteration to Municipal Heritage Property – Mizpah Cottage	<p>Moved and seconded to recommend that Council approve the proposed alterations to Mizpah Cottage's Carriage Shed at 75 Dufferin Street and direct the Heritage Officer to issue a Heritage Permit accordingly.</p> <p style="text-align: right;">Motion carried unanimously</p>
Proposed Alteration to Municipal Heritage Property – Old New Town School	<p>Moved and seconded to recommend that Council approve the proposed alterations to Old New Town School and direct the Heritage Officer to issue a Heritage Permit accordingly with the condition that the design is modified to comply with the Design Guidelines of the Old Town Lunenburg Heritage Conservation district By-law.</p> <p style="text-align: right;">Motion carried unanimously</p>

What We Heard
report on the Old
Town Lunenburg
Heritage
Conservation
District Plan and
By-law

Moved and seconded that prior to recommendation to Council, staff report back to the Committee at a future meeting with a revised draft proposed new Old Town Lunenburg Heritage Conservation District Plan and By-law which includes the changes recommended in the report.

Motion carried unanimously

Next meeting

TBD

Adjournment

There being no further business, the July 10, 2023 Committee meeting adjourned at 7:13 p.m.

Minutes were read and approved.

DRAFT

Subject: Proposed Alteration to Municipal Heritage Property – 207 Montague Street

From: Hilary Grant, Senior Planner & Heritage Officer

Reviewed by: Arthur MacDonald, Director of Community Development

Date: August 31, 2023



Recommendation

The Heritage Advisory Committee recommends that Council deny the proposed alteration to 207 Montague Street and that the Heritage Officer not issue a Heritage Permit.

Alternatives

- Recommend Council approve the proposed alteration to 207 Montague Street.
- Recommend Council approve the proposed alteration to 207 Montague Street with conditions such as the historic trim being replicated and reinstated.

Background

On August 14, 2023, Town staff received an application to alter the second-storey window over the main entrance to 207 Montague Street (Appendix A). The Town of Lunenburg registered 207 Montague Street as a municipal heritage property in 1992 under Nova Scotia's *Heritage Property Act*. The Statement of Significance is attached as Appendix B.

The current proposal is substantial because it alters a historic window that is a character-defining element of the property. It is also substantial under the Town's 'Alteration Guidelines for Municipally Registered Heritage Properties' (Appendix C) because the proposal change does not comply with the *Old Town Lunenburg Heritage Conservation District By-law's* Conservation Guidelines.

Under Section 17(1) of the *Heritage Property Act*, substantially altering a registered municipal heritage property requires Council approval and issuing a Heritage Permit. Under Section 4.1(a) of the Town's *Heritage Property By-law*, the Heritage Advisory Committee may advise the Town on an application to substantially alter a municipal heritage property.

Discussion

207 Montague Street was registered as a municipal heritage property as an Italianate home with vernacular elements.

The current Heritage Application for 207 Montague Street includes replacing the historic round-headed triple mullion window on the second floor with a flat-headed triple mullioned vinyl window.

Substantial Alteration – Altering Character-Defining Window

Under 3(k[1]) of the Nova Scotia *Heritage Property Act*, "'substantial alteration' means any action that affects or alters the character-defining elements of a property." The property's character-defining elements include the triple-mullioned window on the second floor (Appendix B).

Character-defining elements relate to the building's Italianate and vernacular design. The Victorian Italianate style was inspired by Italian Renaissance architecture, particularly the Renaissance palazzo. Characteristics of Italianate architecture include shallow hipped roofs, overhanging eaves, large eave brackets, and narrow rectangular and arched windows that make a building seem tall. The Statement of Significance says the height of the house is accentuated by a deliberate decrease in window widths on the front façade. The round-headed window over the primary entrance, its styling and dimensions, is an essential architectural element that makes 207 Montague Street easily legible as an Italianate building. Staff thus feel it should not be changed.

Under the Town's 'Alteration Guidelines for Municipally Registered Heritage Properties', the following are substantial alterations:

- Changes to the openings for doors or windows unless said development is in conformance with the Design Guidelines of the Heritage Conservation District and
- Removal of trim materials.

Section 7.10 of the *Old Town Lunenburg Heritage Conservation District By-law's* Conservation Guidelines states, "Windows and window trim are one of the most important character-defining elements of heritage buildings in the Old Town and should not be structurally altered without consideration of the effect of the alterations on the overall façade design. Where existing windows need to be replaced or renovated, the new windows shall have the same or similar proportions as the original windows and shall not alter the established window pattern in the façade in terms of its visual balance or directional emphasis." Staff feel that changing a window from round-headed to flat-headed is a substantial change in proportion and significantly affects the established window pattern and overall façade design. Vinyl windows are permitted within Old Town Lunenburg.

The applicant has indicated that the window was flat-headed and only appeared rounded because of interior trim work that was not attached to the glass (Appendix D). Staff feel it is extremely difficult to differentiate between a flat-headed window with superimposed interior and exterior trim from a true round-headed window through photographic evidence alone. Unfortunately, a site visit cannot clarify the design of the window because the window has already been removed.

Under Section 17 (1), "Municipal heritage property shall not be substantially altered...without the approval of the municipality." The property owner installed the new window discussed here without a Heritage Permit or Certificate of Appropriateness (Appendix E). This was brought to Staff's attention, and after a site inspection on August 10, the owner was notified that a Certificate of Appropriateness and Heritage Permit are required in a letter issued the same day. Under Section 25(1) of the *Heritage Property Act*, "[a] person who contravenes the provisions of this Act is guilty of an offence and is liable on summary conviction to a penalty of not more than ten thousand dollars."

The denial of a Certificate of Appropriateness may be appealed to the Nova Scotia Utility and Review Board by the applicant.

Strategic Plan Relevance

Heritage

- Preserve the valuable heritage resources of Lunenburg while embracing an ongoing landscape evolution.

Relevant Legislation

UNESCO's Convention Concerning the Protection of the World Cultural and National Heritage

Nova Scotia Heritage Property Act

Town of Lunenburg Heritage Property By-law

Town of Lunenburg Old Town Lunenburg Heritage Conservation District Plan and By-law

Financial

There are no direct financial implications for the Town. However, legal costs may be associated with compliance and/or the appeal process if a permit is not issued.

Communications

Decisions will be communicated to the applicant.

Attachments

Appendix A – Proposed Design

Appendix B – 207 Montague Street Statement of Significance

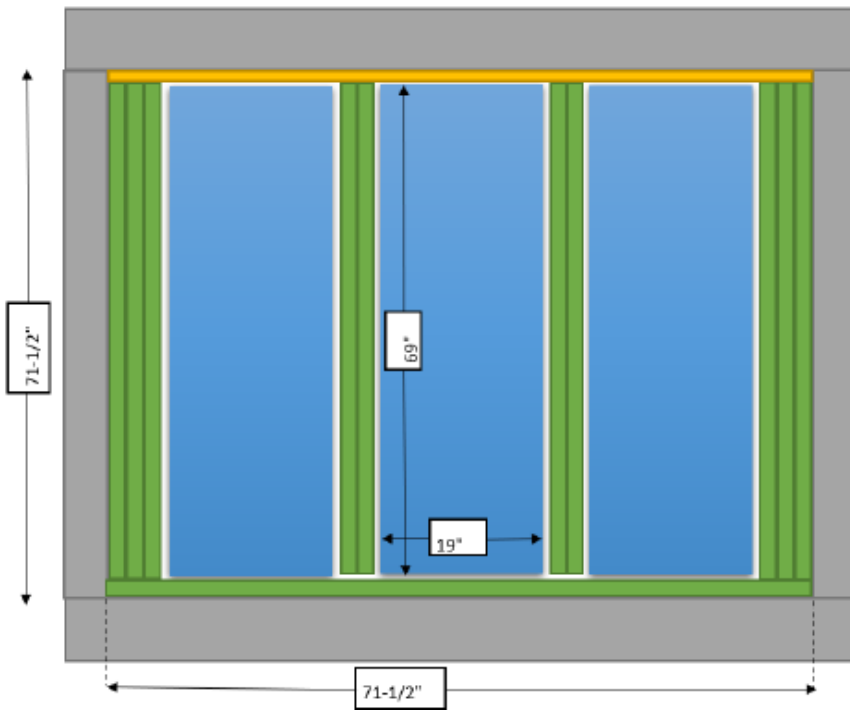
Appendix C – Alteration Guidelines for Municipally Registered Heritage Properties

Appendix D – Photos of the Now Replaced Window Supplied by Applicant and Delegate

Appendix E – Before and After Photographs

Appendix A – Proposed Design

Design Plan: Window installation at 207 Montague Street, Lunenburg



Legend

- Existing rough framing
- New 2x4 spruce framing
- 3/4" pine trim board
- Window

Design Notes

1. Windows are Kholtec (Kholer) single hung, vertical sliders with sealed thermopanes (all 3 identically sized at 19" x 69")
2. 2x4s are kiln dried and stamped
3. No load bearing work to be performed. Installed double 2x4 posts between windows as additional support (did not exist before)
4. Shims used to square windows (in white spaces on diagram surrounding windows)
5. 3M rubberized flashing membrane tape used on outside of window to prevent water penetration
6. Blue tuck tape used on outside for additional sealing
7. Outside of windows to be trimmed identical to existing windows
8. Gaps (created by shims) to be sealed with spray foam insulation

Appendix B – 207 Montague Street Statement of Significance

207 Montague Street

207 Montague Street, Lunenburg, Nova Scotia, B0J, Canada

Formally Recognized: 1992/02/27



Front façade

OTHER NAME(S)

n/a

LINKS AND DOCUMENTS

[Overview of Lunenburg, including architectural tour and town history provided by the Town of Lunenburg.](#)

CONSTRUCTION DATE(S)

1889/01/01 to 1889/12/31

LISTED ON THE CANADIAN REGISTER: 2004/10/12

STATEMENT OF SIGNIFICANCE

DESCRIPTION OF HISTORIC PLACE

207 Montague Street is a tall, three-storey, hip-roofed house with Italianate features located on the north side slope of Montague Street, facing the Lunenburg Shipyards and the harbour in Lunenburg, NS. There is a slight setback from the street, however the house seems to sit close to the streetline, due to the steep slope leading up to the front entrance. The house, originally a single-unit dwelling, is currently divided into flats. The heritage designation applies to both the building and surrounding land.

HERITAGE VALUE

207 Montague Street is valued as an example of an architectural style that was common in late-Victorian Lunenburg. The house was built before 1890 for Rebecca Selig, the widow of a well known local sea captain. It has many features derived from the Lunenburg Vernacular tradition, such as the symmetry of the front façade with a

central entrance, but the general appearance of the building is Italianate. The height of the house is accentuated with deliberate use of decreasing window widths on the front façade, giving visual weight to the lower section and a relative lightness to the upper storeys. The national turn-of-the-century trend to move away from local building traditions is reflected in this home and other Lunenburg homes of the period. This trend had become possible due to increased prosperity in Lunenburg and improved transportation of material goods throughout Nova Scotia.

Source: Heritage Designation File 66400-40-24, Town of Lunenburg.

CHARACTER-DEFINING ELEMENTS

Elements that define the character of 207 Montague Street relate to its largely Italianate design, with some elements of the Lunenburg Vernacular tradition, including:

- Italianate architectural elements, such as the hipped roof and cubic form of the house, enclosed front porch entrance with transom and sidelights, a triple-mullioned window on the second floor and another pair of roundheaded windows on the third floor;
- Lunenburg Vernacular elements, such as the clapboard cladding with wide cornerboards and endboards, small brackets at the eaves on the cornerboards and the setback into the steep slope, with only a small front yard area;
- elements that add to a sense of wealth and prosperity, including the vertical composition of the house, the symmetrical proportions and location in the core of Old Town Lunenburg, facing Lunenburg Harbour.

RECOGNITION

JURISDICTION

Nova Scotia

RECOGNITION AUTHORITY

Local Governments (NS)

RECOGNITION STATUTE

Heritage Property Act

RECOGNITION TYPE

Municipally Registered Property

RECOGNITION DATE

1992/02/27

Appendix C – Alteration Guidelines for Municipally Registered Heritage Properties

Alteration Guidelines for Municipally Registered Heritage Properties Town of Lunenburg Approved by Council on October 13, 2020

1.0 Scope

These guidelines apply to all municipally registered heritage properties in the Town of Lunenburg, whether located outside of or inside the Heritage Conservation District.

2.0 Background

The Heritage Property Act allows municipalities to identify and protect structures of heritage significance. The Lunenburg Heritage Advisory Committee, established in March of 1981, has registered sixty-one (61) properties following a request from the owner and investigation by the Heritage Advisory Committee. These properties are located throughout Town, including within the Heritage Conservation District. The adoption of the Heritage Conservation Plan and By-law in 2000 effectively registered all of the buildings within the Heritage Conservation District, so further individual registrations within the Heritage Conservation District are not possible.

For those individually registered properties within the District, both a Heritage Permit and a Certificate of Appropriateness issued under the Heritage Conservation By-law are required for any external alterations.

3.0 Process

All applications to alter a registered heritage property shall be made to the Heritage Officer, who will review each application and determine whether the proposed change is a substantial or non-substantial alteration. If the Heritage Officer is unable to determine whether a proposed change is substantial or non-substantial, the application shall follow the process for a substantial change.

If the proposed changes are determined by the Heritage Officer to be non-substantial, the Heritage Officer will send a letter to the applicant advising that a Heritage Permit is not required.

If the proposed changes are determined to be substantial, a report will be prepared by the Heritage Officer for consideration by the Heritage Advisory Committee and recommendation to Council.

4.0 Substantial and Non-Substantial Alterations

For clarity, both substantial and non-substantial alterations are listed. Any non-substantial alteration must meet the Design Guidelines of the Heritage Conservation District.

The following shall be considered substantial alterations:

- additions, including porches, verandas, entries, stairways and dormers unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;
- addition or removal of windows or window openings unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

* addition or removal of doors or door openings unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

• changes to the openings for doors or windows unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

• change in roof pitch or style (including pitch or style of a dormer) unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

• removal of porches, verandas, entries, stairways, dormers, windows, trim materials of any type, or chimneys unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

• change in style or design of railing or guards on porches or stairs unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

• addition to an existing accessory building or the erection or placement of a new accessory building unless said development is in conformance with the Design Guidelines of the Heritage Conservation District (in cases where the land as well as the main building have been registered as a Municipal Heritage Property);

• addition of utilities structures such as, but not limited to, air conditioning units, kitchen vents and heat pumps unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

• accessory structures such as, but not limited to, fences, stairways, decks, garden trellises, pergolas, awnings, pavilions, and similar items which are connected or otherwise not connected to the main building unless said development is in conformance with the Design Guidelines of the Heritage Conservation District; and

• re-shingling of roofs where not required for maintenance, including changes in the type of shingle unless said development is in conformance with the Design Guidelines of the Heritage Conservation District.

Notwithstanding anything herein contained above, the following shall be considered substantial alterations:

• any development that does not conform to the Design Guidelines of the Heritage Conservation District By-law;

• any demolition or removal of

a) more than 10 % of the total usable floor area of all floors including the usable floor areas of any basement and attic; or

b) any part of a building for which the cumulative sum of all areas of its horizontal dimensions exceeds 25% of the area of the building's existing footprint.

Usable Floor Area means the floor area that has a minimum height clearance of 1.2 m (4 ft.) or higher.

and

- any addition to a building which is greater than 25% of the area of the existing building's footprint either as an addition to the sides of the building or on top such as an additional storey.

For the sake of clarity the following shall be considered non-substantial alterations:

- changes in storm windows from painted wood to aluminum;
- replacements or repairs where no changes are intended;
- use of vinyl window inserts if no other changes taking place;
- replacement of shingles with clapboard with the same exposure, and replacement of clapboard with shingles with the same exposure;
- the erection or placement of signage;
- items which the Heritage Officer considers to be maintenance (ie. re-shingle roof if needed);
- replacement of doors or storm doors with doors which meet the Design Guidelines of the Heritage Conservation District;
- replacement of non-traditional elements with traditional (ie clad concrete steps with wood; shingle a wall now covered in plywood) which meet the Design Guidelines of the Heritage Conservation District;
- addition of glass doors inside wooden storm doors;
- rain barrels and other minor accessory structures; and
- the installation of gutters and downspouts which meet the Design Guidelines of the Heritage Conservation District.

Appendix D – Photos of the Now Replaced Window Supplied by Applicant and Delegate



Figure 1: Photograph Supplied by Owner, dated by owner September 13, 2016



Appendix E – Before and After Photographs

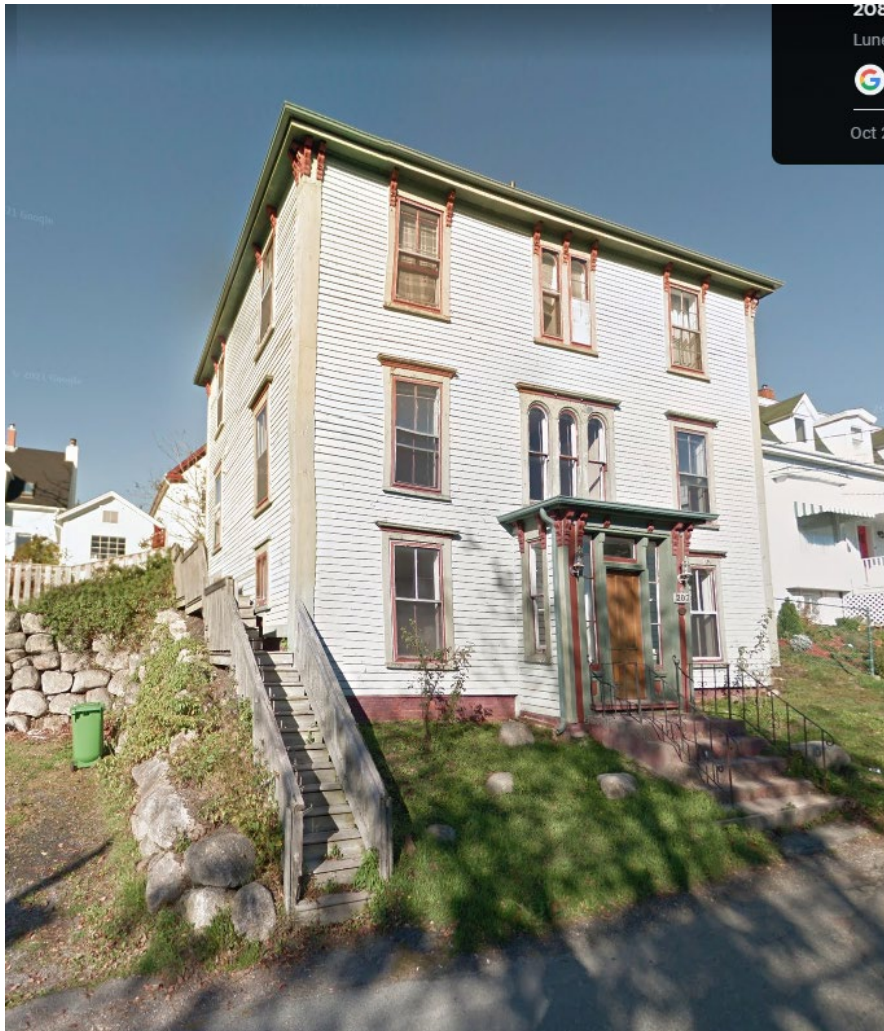


Figure 1: 207 Montague Street, Google Street View, October 2016



Figure 2: 207 Montague Street, Staff Photo, August 2023

Subject: Proposed Alteration to Municipal Heritage Property – Old New Town School

From: Hilary Grant, Senior Planner & Heritage Officer

Reviewed by: N/A

Date: August 31, 2023



Recommendation

The Heritage Advisory Committee recommends that Council approve the proposed alterations to Old New Town School and direct the Heritage Officer to issue a Heritage Permit.

Alternatives

- Recommend Council refuse the proposed alterations to Old New Town School.
- Recommend Council approve the proposed alterations to Old New Town School with conditions.

Background

On August 24, 2023, Staff received a revised application to alter the Old New Town School, 17 Tannery Road (Appendix A). The Town of Lunenburg registered Old New Town School as a municipal heritage property in 2000 under the Nova Scotia *Heritage Property Act*. The Statement of Significance is attached as Appendix B. The designation covers both the building and the surrounding land.

The current proposal is substantial because it alters the green space that is a character-defining element of the property. Under Section 17(1) of the *Heritage Property Act*, substantially altering a municipal heritage property requires Council approval and the issuance of a Heritage Permit. Under Section 4.1(a) of the Town's *Heritage Property By-law*, the Heritage Advisory Committee may advise the Town on an application to alter a municipal heritage property substantially.

Discussion

Old New Town School was registered as a municipal heritage property because it is a reminder of the era of one-room schoolhouses in Nova Scotia.

This application is a revision of the application to convert Old New Town School into four dwelling units the Heritage Advisory Committee recommended Council approve with revisions July 10, 2023, and Council approved on August 8, 2023. Following the Heritage Advisory Committee's recommendation that the stairway design be revised to adhere to the Old Town Lunenburg Heritage Conservation District By-law's Design Guidelines, the applicant revised the design, bringing it into compliance. Thus, on August 8, 2023, Council awarded a Heritage Permit with no conditions.

The current application for 17 Tannery Road includes installing two egress windows and retaining walls on the property.

Substantial Alteration – Retaining Walls

Under 3(k[l]) of the Nova Scotia *Heritage Property Act*, " 'substantial alteration' means any action that affects or alters the character-defining elements of a property." The green space surrounding the building on all side is a character-defining element of Old New Town School. The addition of retaining walls will reduce the green space surrounding the building.

Old Town Lunenburg Heritage Conservation District By-law's Design Guidelines and the 'Alteration Guidelines for Municipally Registered Heritage Properties' (Appendix C) are silent regarding retaining walls and the elimination of green space surrounding historic buildings.

Non-Substantial Alterations

Under the Town's 'Alteration Guidelines for Municipally Registered Heritage Properties' (Appendix C), the following are non-substantial alterations and should be approved.

- Addition or removal of windows or window openings unless said development is in conformance with the Design Guidelines of the Heritage Conservation District

The new windows adhere to the *Old Town Lunenburg Heritage Conservation District By-law's* Design Guidelines.

Limitations on the Heritage Advisory Committee's Purview

1. Rehabilitation and the Land Use By-law

This project is a rehabilitation as defined in the *Standards and Guidelines for Historic Places in Canada* - "the action or process of making possible a continuing or compatible contemporary use of a historic place, or an individual component, while protecting its heritage value" (page 17). The Town's *Land Use By-law* regulated the use of historic structures. The use of heritage buildings cannot be regulated under Nova Scotia's *Heritage Property Act*. As such, the Heritage Advisory Committee cannot advise whether renovating the Old New Town School into four residential units is appropriate. However, it is worth noting that the *Standards and Guidelines for the Conservation of Historic Places in Canada* argue that "a viable use better guarantees the long-term existence of a historic place" (page 4). It recommends finding a compatible use for a historic place unless its use is part of its heritage value (page 4). Old New Town School's Statement of Significance states that the schoolhouse is used by the High School loas extra classroom space, making it a rare example of continuous use of a one-room school building from the nineteenth century to the present day. This is no longer the case. Ensuring the Old New Town School's continued use should lead to better maintenance and conservation in the long term.

2. Alterations to Historic Interiors

The Nova Scotia *Heritage Property Act* does not provide for municipalities to protect the interiors of privately owned historic buildings. The *Heritage Property Act* only provides for the protection of public-building interiors. Public-building interiors are character-defining elements of publicly accessible interiors owned by the Government of the Province in the case of a provincial heritage property or owned by a municipality in the case of a municipal heritage property. Old New Town School is not municipally owned. As such, the Heritage Advisory Committee cannot advise on whether renovating the Old New Town School's interior is appropriate. The interior design images provided in Appendix A are for reference only.

Strategic Plan Relevance

Heritage

- Preserve the valuable heritage resources of Lunenburg while embracing an ongoing landscape evolution.

Relevant Legislation

Nova Scotia *Heritage Property Act*

Town of Lunenburg *Heritage Property By-law*

Town of Lunenburg *Old Town Lunenburg Heritage Conservation District Plan and By-law*

Financial

There are no direct financial implications for the Town. However, legal costs may be associated with compliance and/or the appeal process if a permit is not issued.

Communications

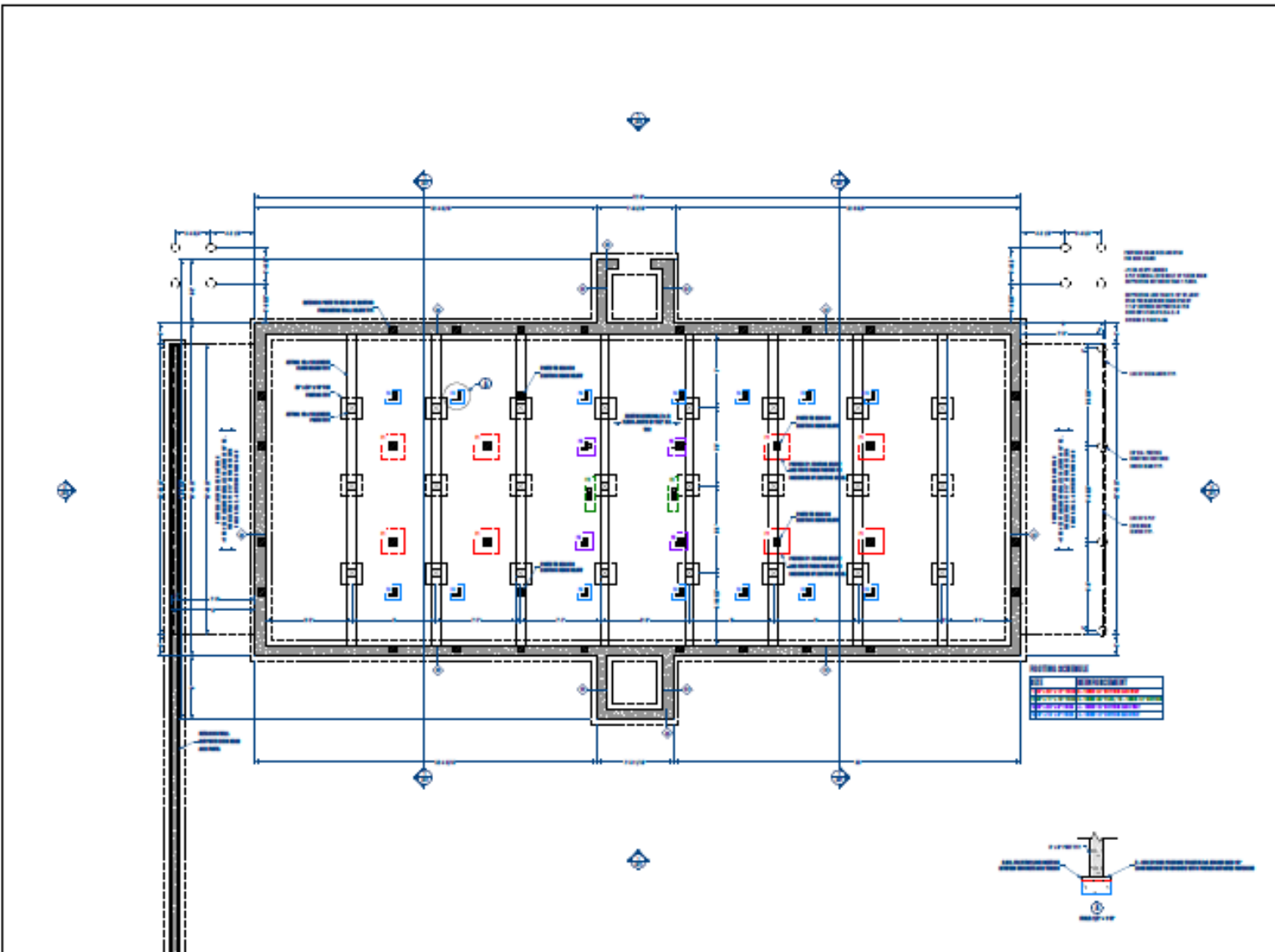
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Attachments

Appendix A – Proposed Design

Appendix B – Old New Town School Statement of Significance

Appendix C – Alteration Guidelines for Municipally Registered Heritage Properties



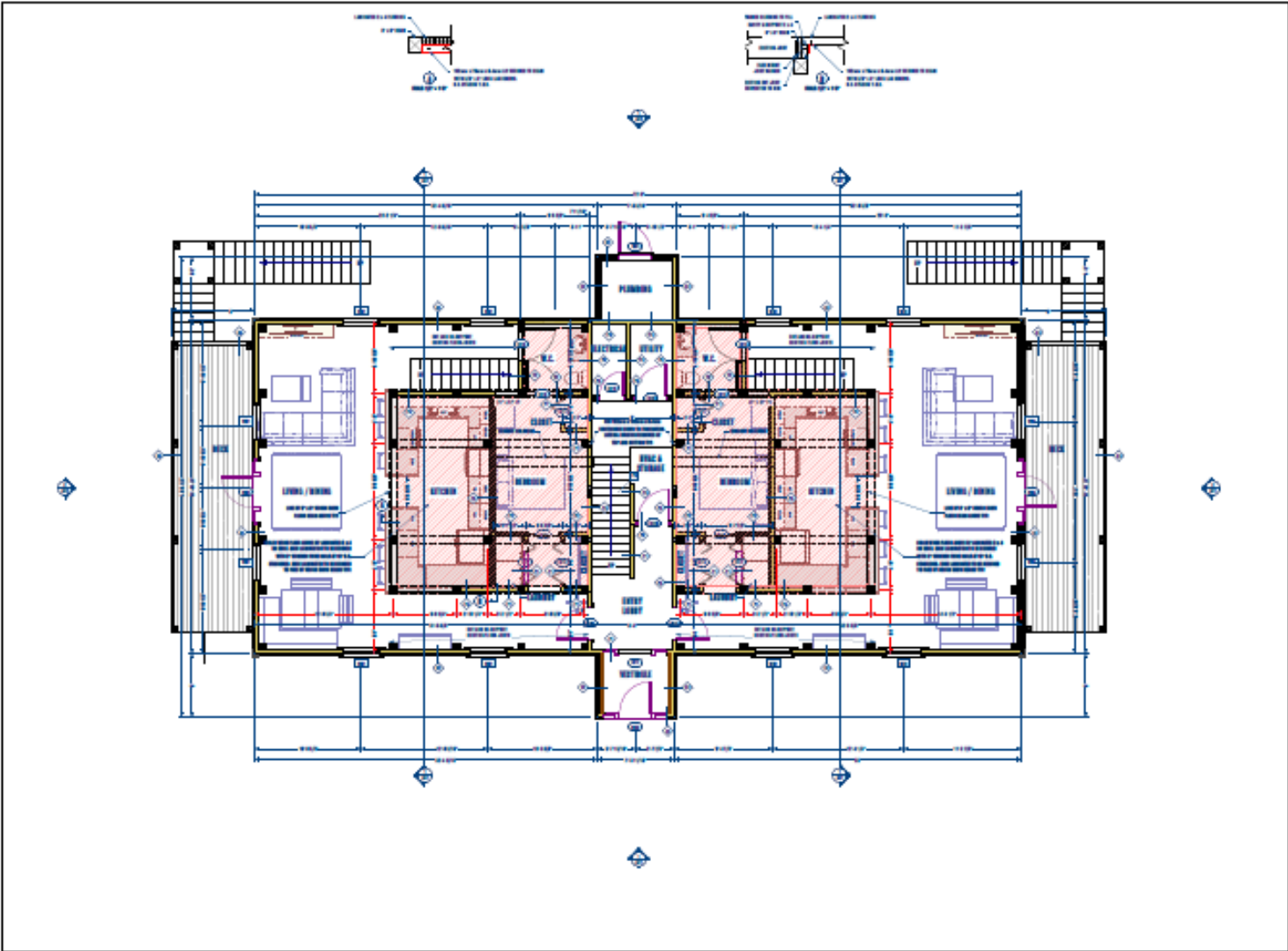
Notes:

1. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FOUNDATION CODE (IFC).
2. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 318 AND ACI 308.
3. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 309 AND ACI 305.
4. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.1R AND ACI 308.2R.
5. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.3R AND ACI 308.4R.
6. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.5R AND ACI 308.6R.
7. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.7R AND ACI 308.8R.
8. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.9R AND ACI 308.10R.
9. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.11R AND ACI 308.12R.
10. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.13R AND ACI 308.14R.
11. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.15R AND ACI 308.16R.
12. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.17R AND ACI 308.18R.
13. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.19R AND ACI 308.20R.
14. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.21R AND ACI 308.22R.
15. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.23R AND ACI 308.24R.
16. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.25R AND ACI 308.26R.
17. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.27R AND ACI 308.28R.
18. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.29R AND ACI 308.30R.
19. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.31R AND ACI 308.32R.
20. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.33R AND ACI 308.34R.
21. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.35R AND ACI 308.36R.
22. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.37R AND ACI 308.38R.
23. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.39R AND ACI 308.40R.
24. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.41R AND ACI 308.42R.
25. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.43R AND ACI 308.44R.
26. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.45R AND ACI 308.46R.
27. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.47R AND ACI 308.48R.
28. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.49R AND ACI 308.50R.
29. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.51R AND ACI 308.52R.
30. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.53R AND ACI 308.54R.
31. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.55R AND ACI 308.56R.
32. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.57R AND ACI 308.58R.
33. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.59R AND ACI 308.60R.
34. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.61R AND ACI 308.62R.
35. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.63R AND ACI 308.64R.
36. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.65R AND ACI 308.66R.
37. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.67R AND ACI 308.68R.
38. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.69R AND ACI 308.70R.
39. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.71R AND ACI 308.72R.
40. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.73R AND ACI 308.74R.
41. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.75R AND ACI 308.76R.
42. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.77R AND ACI 308.78R.
43. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.79R AND ACI 308.80R.
44. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.81R AND ACI 308.82R.
45. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.83R AND ACI 308.84R.
46. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.85R AND ACI 308.86R.
47. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.87R AND ACI 308.88R.
48. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.89R AND ACI 308.90R.
49. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.91R AND ACI 308.92R.
50. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.93R AND ACI 308.94R.
51. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.95R AND ACI 308.96R.
52. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.97R AND ACI 308.98R.
53. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308.99R AND ACI 308.100R.

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	08/24/20
2	ISSUE FOR CONSTRUCTION	08/24/20
3	ISSUE FOR CONSTRUCTION	08/24/20
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Project Name	
17 Tannery Road	
Drawing Title	
Foundation Plan	
Date	Scale
August 24, 2020	1/2" = 1'-0"
Drawn By	Spec/Builder
Checked By	Mike Smith
Drawing #	A11



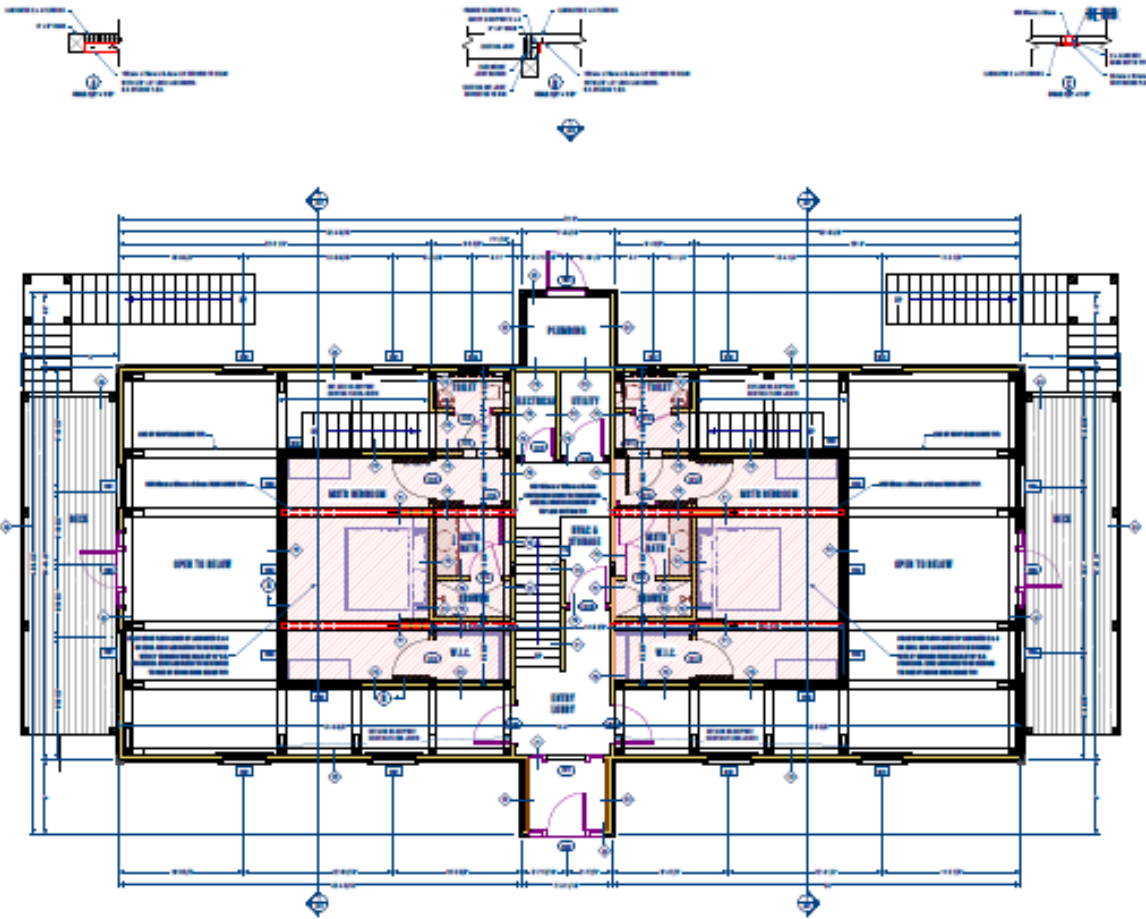
Notes:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE NATIONAL ELECTRICAL CODE (NEC).
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING CODES (IMC) AND THE INTERNATIONAL PLUMBING AND MECHANICAL CODES (IPMC).
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES (IFSC) AND THE INTERNATIONAL FIRE AND SAFETY CODES (IFSC).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY EFFICIENCY CODES (IEEC) AND THE INTERNATIONAL ENERGY EFFICIENCY CODES (IEEC).
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION CODES (ISDCC) AND THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION CODES (ISDCC).
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY STANDARDS (IAS) AND THE INTERNATIONAL ACCESSIBILITY STANDARDS (IAS).
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY AND HEALTH STANDARDS (ISHS) AND THE INTERNATIONAL SAFETY AND HEALTH STANDARDS (ISHS).
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL STANDARDS (IES) AND THE INTERNATIONAL ENVIRONMENTAL STANDARDS (IES).
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL QUALITY STANDARDS (IQS) AND THE INTERNATIONAL QUALITY STANDARDS (IQS).
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PROJECT DELIVERY STANDARDS (IPDS) AND THE INTERNATIONAL PROJECT DELIVERY STANDARDS (IPDS).
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RISK MANAGEMENT STANDARDS (IRMS) AND THE INTERNATIONAL RISK MANAGEMENT STANDARDS (IRMS).
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL COMMUNICATION STANDARDS (ICS) AND THE INTERNATIONAL COMMUNICATION STANDARDS (ICS).
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL DOCUMENTATION STANDARDS (IDS) AND THE INTERNATIONAL DOCUMENTATION STANDARDS (IDS).
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL INFORMATION STANDARDS (IS) AND THE INTERNATIONAL INFORMATION STANDARDS (IS).
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL KNOWLEDGE STANDARDS (IKS) AND THE INTERNATIONAL KNOWLEDGE STANDARDS (IKS).
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL LEARNING STANDARDS (ILS) AND THE INTERNATIONAL LEARNING STANDARDS (ILS).
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESEARCH STANDARDS (IRS) AND THE INTERNATIONAL RESEARCH STANDARDS (IRS).
18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL INNOVATION STANDARDS (INS) AND THE INTERNATIONAL INNOVATION STANDARDS (INS).
19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENTREPRENEURSHIP STANDARDS (IES) AND THE INTERNATIONAL ENTREPRENEURSHIP STANDARDS (IES).
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL LEADERSHIP STANDARDS (ILS) AND THE INTERNATIONAL LEADERSHIP STANDARDS (ILS).
21. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL TEAMWORK STANDARDS (ITS) AND THE INTERNATIONAL TEAMWORK STANDARDS (ITS).
22. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL COLLABORATION STANDARDS (ICS) AND THE INTERNATIONAL COLLABORATION STANDARDS (ICS).
23. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL COMMUNITY STANDARDS (IC) AND THE INTERNATIONAL COMMUNITY STANDARDS (IC).
24. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SOCIETY STANDARDS (IS) AND THE INTERNATIONAL SOCIETY STANDARDS (IS).
25. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HUMANITY STANDARDS (IHS) AND THE INTERNATIONAL HUMANITY STANDARDS (IHS).

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Project Name: 17 Tannery Road
 Drawing Title: Main Level Floor Plan
 Date: August 26, 2024
 Scale: 1/8" = 1'-0"
 Drawn By: [Name]
 Checked By: [Name]
 Drawing #: **A12**



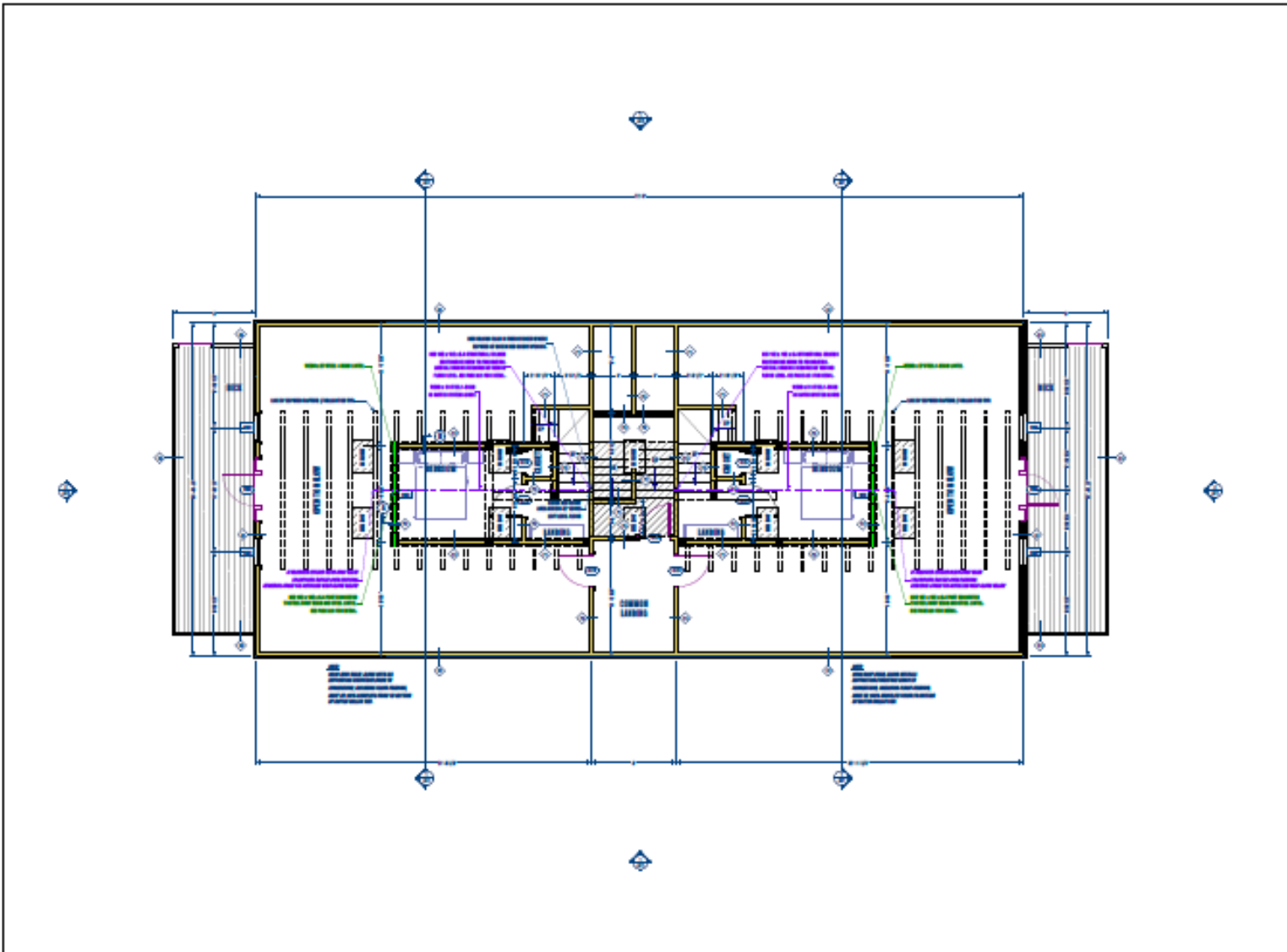
Notes:

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE 1/2" THICK UNLESS OTHERWISE NOTED.
3. ALL FLOORS ARE 4" CONCRETE ON 2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
4. ALL CEILING ARE 8" CONCRETE ON 2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
5. ALL ROOFS ARE 4" CONCRETE ON 2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
6. ALL STAIRS ARE 6" CONCRETE ON 2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
7. ALL ELEVATOR SHAFTS ARE 6" CONCRETE ON 2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
8. ALL MEETING ROOMS ARE 8' X 12' UNLESS OTHERWISE NOTED.
9. ALL OFFICES ARE 10' X 12' UNLESS OTHERWISE NOTED.
10. ALL OPEN TO BELOW AREAS ARE 8' X 12' UNLESS OTHERWISE NOTED.
11. ALL RECEPTION AREAS ARE 10' X 12' UNLESS OTHERWISE NOTED.
12. ALL STAIRS ARE 10' X 12' UNLESS OTHERWISE NOTED.
13. ALL ELEVATOR SHAFTS ARE 10' X 12' UNLESS OTHERWISE NOTED.
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96. ALL STAIRS ARE 10' X 12' UNLESS OTHERWISE NOTED.
97. ALL ELEVATOR SHAFTS ARE 10' X 12' UNLESS OTHERWISE NOTED.
98. ALL MEETING ROOMS ARE 10' X 12' UNLESS OTHERWISE NOTED.
99. ALL OFFICES ARE 10' X 12' UNLESS OTHERWISE NOTED.
100. ALL OPEN TO BELOW AREAS ARE 10' X 12' UNLESS OTHERWISE NOTED.

NO.	REVISION	BY
1	ISSUE FOR PERMIT	MLB/MLB
2	ISSUE FOR CONSTRUCTION	MLB/MLB
3	ISSUE FOR OCCUPANCY	MLB/MLB
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Project Name:	17 Century Base	
Drawing Title:	Male Level Floor Plan (Left)	
Date:	August 11, 2020	Scale: 1/8" = 1'-0"
Drawn By:	Mike Smith	
Checked By:	Mike Smith	
Drawing #:	A13	



Notes:
 1. All dimensions are in feet and inches unless otherwise noted.
 2. All work shall be in accordance with the latest editions of the International Building Code (IBC) and the International Mechanical Code (IMC).
 3. All materials and finishes shall be as specified in the Schedule of Materials and Finishes.
 4. All electrical work shall be in accordance with the National Electrical Code (NEC).
 5. All plumbing work shall be in accordance with the International Plumbing Code (IPC).
 6. All mechanical work shall be in accordance with the International Mechanical Code (IMC).
 7. All fire protection work shall be in accordance with the International Fire Code (IFC).
 8. All structural work shall be in accordance with the International Building Code (IBC).
 9. All exterior work shall be in accordance with the International Building Code (IBC).
 10. All interior work shall be in accordance with the International Building Code (IBC).
 11. All work shall be completed within the specified time frame.
 12. All work shall be subject to inspection and approval by the local building department.

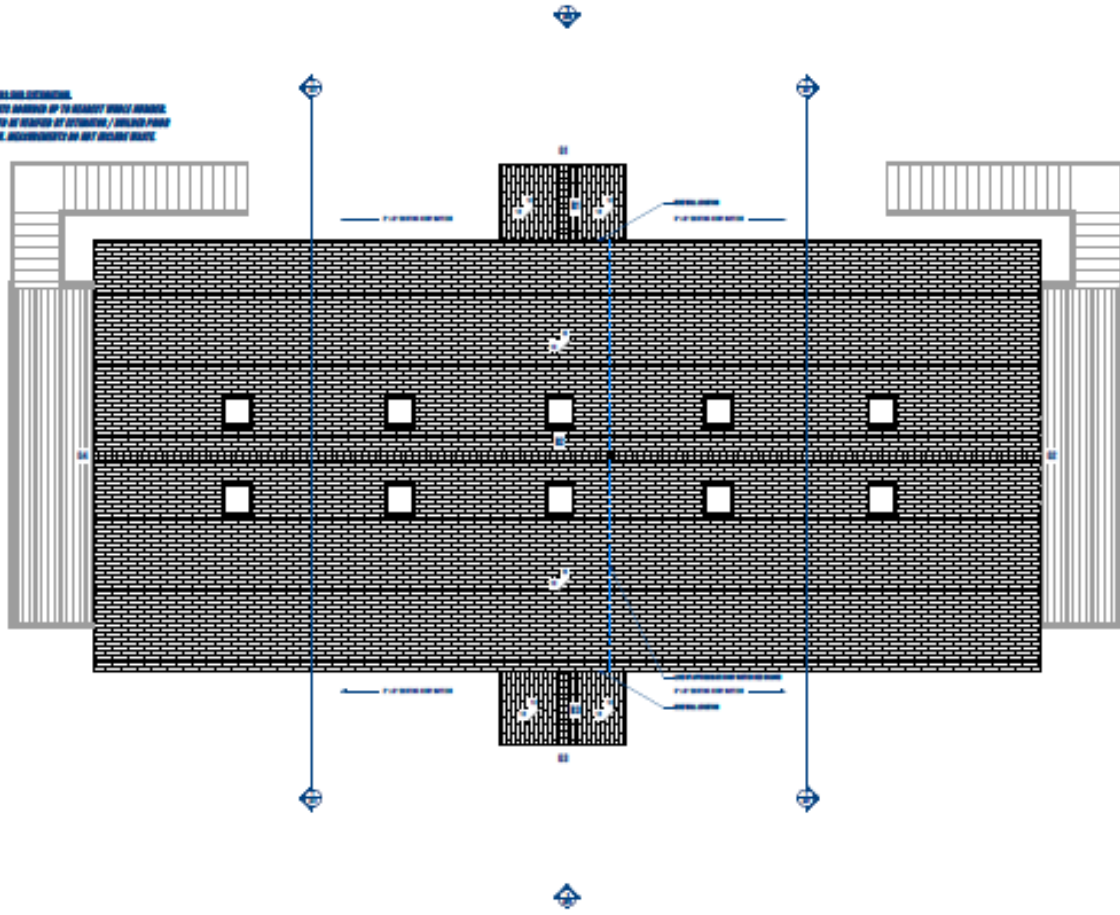
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Project Name	
17 January Blvd	
Drawing Title	
Upper Level Floor Plan (Left)	
Date	Scale
August 14, 2020	1/8" = 1'-0"
Drawn by	Specification
Checked by	Mike Smith
Sheet #	A15

DOUBLE CHECKING DIMENSIONS
ALL DIMENSIONS SHOWN ON THIS DRAWING SHALL BE
UNDERSTOOD TO BE MEASUREMENTS FROM FACE UNLESS
OTHERWISE SPECIFIED. DIMENSIONS ON THIS DRAWING SHALL
BE MEASURED FROM FACE UNLESS OTHERWISE SPECIFIED.

GENERAL NOTES
 1. ALL DIMENSIONS SHALL BE
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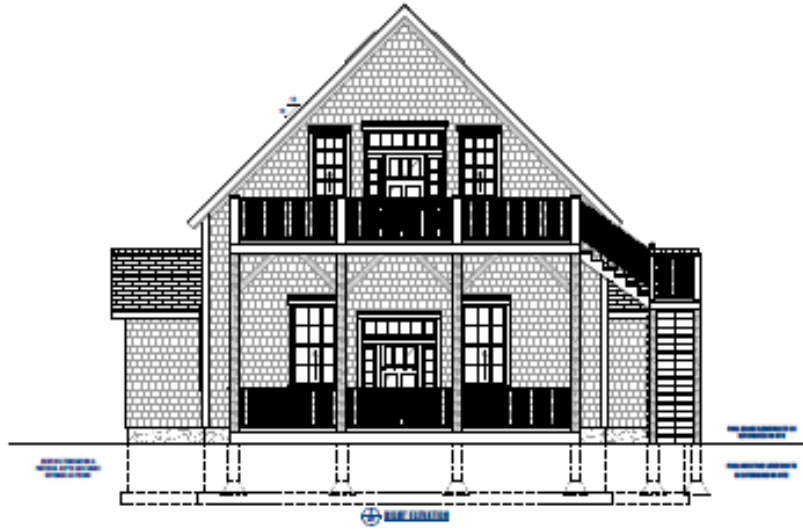
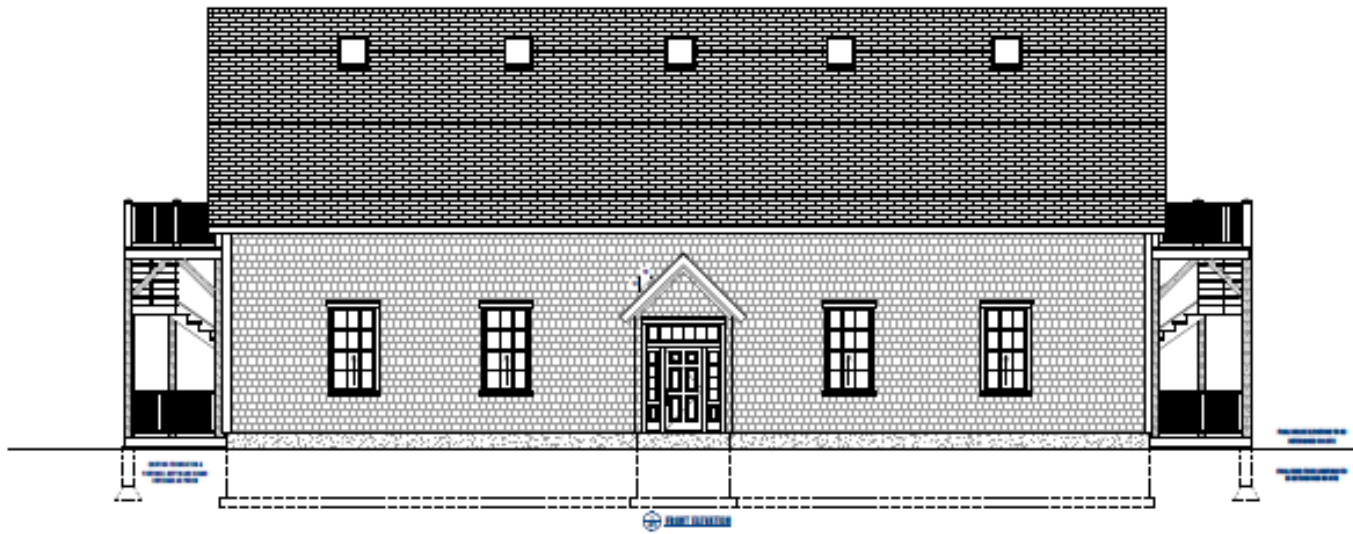


REVISIONS
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Project Name: 17 Fenway Road	
Drawing Title: Roof Plan	
Date: August 11, 2020	Scale: 1/8" = 1'-0"
Drawn by: Spencer Miller	Checked by: Mike Smith
Drawing #: A15	



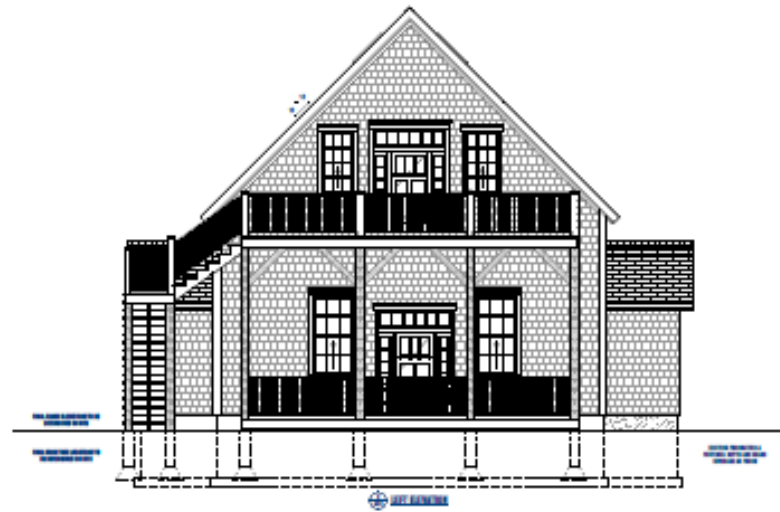
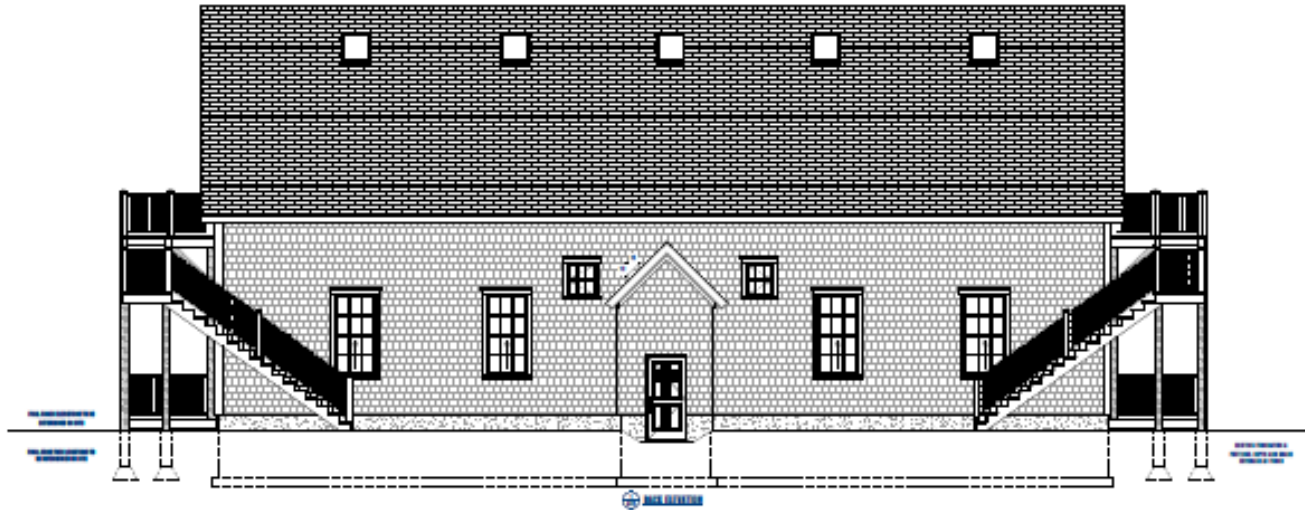
Notes:

1. See General Notes for details.
2. See General Notes for details.
3. See General Notes for details.
4. See General Notes for details.
5. See General Notes for details.
6. See General Notes for details.
7. See General Notes for details.
8. See General Notes for details.
9. See General Notes for details.
10. See General Notes for details.
11. See General Notes for details.
12. See General Notes for details.

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	08/15/2020
2	ISSUE FOR PERMIT	08/15/2020
3	ISSUE FOR PERMIT	08/15/2020
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Project Name	
17 Tennyson Road	
Drawing Title	
Front & Right Elevations	
Date	Scale
August 15, 2020	1/8" = 1'-0"
Drawn By	Spot Walker
Checked By	Mike Smith
Drawing #	A21



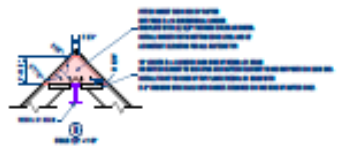
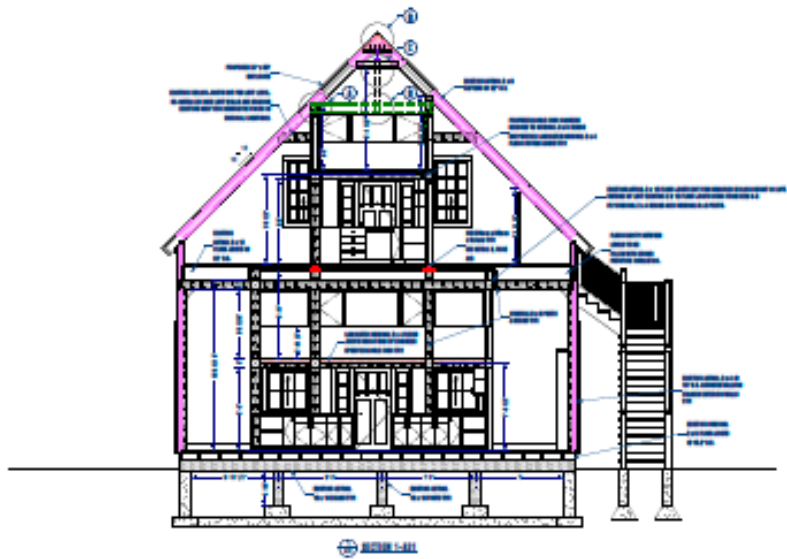
Notes:

1. See General Notes on sheet A20.
2. See Foundation Notes on sheet A21.
3. See Roofing Notes on sheet A22.
4. See Siding Notes on sheet A23.
5. See Window Notes on sheet A24.
6. See Door Notes on sheet A25.
7. See Stair Notes on sheet A26.
8. See Deck Notes on sheet A27.
9. See Porch Notes on sheet A28.
10. See Garage Notes on sheet A29.
11. See Porcelain Notes on sheet A30.
12. See Cabinet Notes on sheet A31.
13. See Fixture Notes on sheet A32.
14. See Finish Notes on sheet A33.
15. See Mechanical Notes on sheet A34.
16. See Electrical Notes on sheet A35.
17. See Plumbing Notes on sheet A36.
18. See HVAC Notes on sheet A37.
19. See Fire Notes on sheet A38.
20. See Other Notes on sheet A39.

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1	ISSUE FOR PERMIT	08/11/22
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Project Name	
17 January Road	
Drawing Title	
Back & Left Elevations	
Date	Scale
August 11, 2022	1/8" = 1'-0"
Drawn By	Project Manager
Checked By	Mike Smith
Drawing #	A22



Notes:
 1. All construction shall conform to the International Residential Code (IRC) and all applicable local codes.
 2. The owner is responsible for obtaining all necessary permits and approvals from the local building department.
 3. The contractor shall be responsible for providing all materials and labor for the construction of the house.
 4. The contractor shall be responsible for ensuring that all construction is completed in accordance with the plans and specifications.
 5. The contractor shall be responsible for obtaining all necessary insurance and bonding for the project.
 6. The contractor shall be responsible for maintaining the site and ensuring that the property is left in good condition at the end of the project.
 7. The contractor shall be responsible for providing the owner with a copy of the final construction documents and a copy of the building department's final inspection report.
 8. The contractor shall be responsible for providing the owner with a copy of the manufacturer's instructions for all major appliances and fixtures.
 9. The contractor shall be responsible for providing the owner with a copy of the manufacturer's instructions for all major appliances and fixtures.
 10. The contractor shall be responsible for providing the owner with a copy of the manufacturer's instructions for all major appliances and fixtures.

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Project Name: 17 Sanctuary Road

Drawing Title: Section

Date: August 11, 2020	Scale: 1/8" = 1'-0"
Drawn By: [Name]	Checked By: [Name]
Drawing #: A31	

NO.	DESCRIPTION	UNIT	QTY	PRICE	AMOUNT	REMARKS
1	CONCRETE	CU YD	1.00	100.00	100.00	
2	REINFORCING BARS	TON	1.00	100.00	100.00	
3	FORMWORK	SQ YD	1.00	100.00	100.00	
4	STEEL BRACING	TON	1.00	100.00	100.00	
5	CONCRETE	CU YD	1.00	100.00	100.00	
6	REINFORCING BARS	TON	1.00	100.00	100.00	
7	FORMWORK	SQ YD	1.00	100.00	100.00	
8	STEEL BRACING	TON	1.00	100.00	100.00	

NO.	DESCRIPTION	UNIT	QTY	PRICE	AMOUNT	REMARKS
9	CONCRETE	CU YD	1.00	100.00	100.00	
10	REINFORCING BARS	TON	1.00	100.00	100.00	
11	FORMWORK	SQ YD	1.00	100.00	100.00	
12	STEEL BRACING	TON	1.00	100.00	100.00	
13	CONCRETE	CU YD	1.00	100.00	100.00	
14	REINFORCING BARS	TON	1.00	100.00	100.00	
15	FORMWORK	SQ YD	1.00	100.00	100.00	
16	STEEL BRACING	TON	1.00	100.00	100.00	

NO.	DESCRIPTION	UNIT	QTY	PRICE	AMOUNT	REMARKS
17	CONCRETE	CU YD	1.00	100.00	100.00	
18	REINFORCING BARS	TON	1.00	100.00	100.00	
19	FORMWORK	SQ YD	1.00	100.00	100.00	
20	STEEL BRACING	TON	1.00	100.00	100.00	
21	CONCRETE	CU YD	1.00	100.00	100.00	
22	REINFORCING BARS	TON	1.00	100.00	100.00	
23	FORMWORK	SQ YD	1.00	100.00	100.00	
24	STEEL BRACING	TON	1.00	100.00	100.00	

NO.	DESCRIPTION	UNIT	QTY	PRICE	AMOUNT	REMARKS
25	CONCRETE	CU YD	1.00	100.00	100.00	
26	REINFORCING BARS	TON	1.00	100.00	100.00	
27	FORMWORK	SQ YD	1.00	100.00	100.00	
28	STEEL BRACING	TON	1.00	100.00	100.00	
29	CONCRETE	CU YD	1.00	100.00	100.00	
30	REINFORCING BARS	TON	1.00	100.00	100.00	
31	FORMWORK	SQ YD	1.00	100.00	100.00	
32	STEEL BRACING	TON	1.00	100.00	100.00	

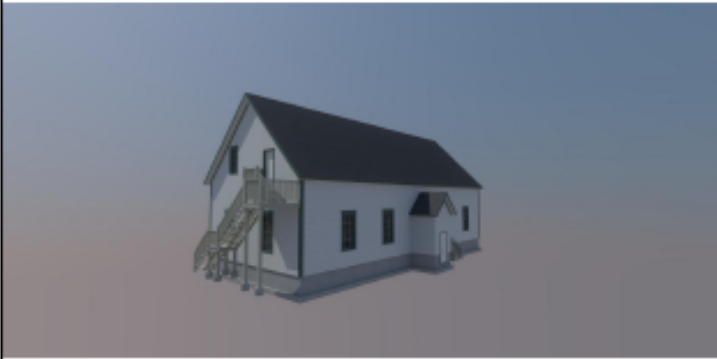
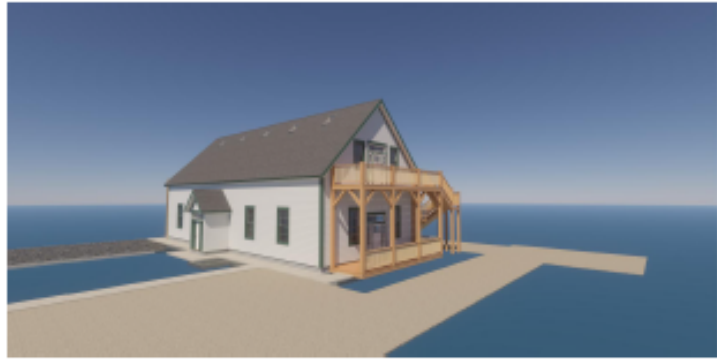
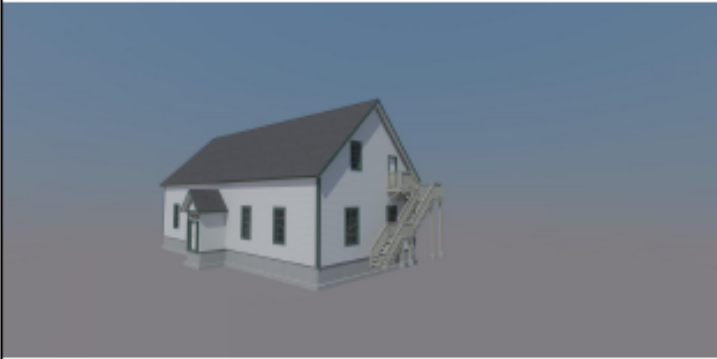
NO.	DESCRIPTION	UNIT	QTY	PRICE	AMOUNT	REMARKS
33	CONCRETE	CU YD	1.00	100.00	100.00	
34	REINFORCING BARS	TON	1.00	100.00	100.00	
35	FORMWORK	SQ YD	1.00	100.00	100.00	
36	STEEL BRACING	TON	1.00	100.00	100.00	
37	CONCRETE	CU YD	1.00	100.00	100.00	
38	REINFORCING BARS	TON	1.00	100.00	100.00	
39	FORMWORK	SQ YD	1.00	100.00	100.00	
40	STEEL BRACING	TON	1.00	100.00	100.00	

Notes:
 1. All work shall be in accordance with the specifications and standards of the Department of Transportation.
 2. The contractor shall be responsible for obtaining all necessary permits and licenses.
 3. The contractor shall maintain access to all existing utilities and structures.
 4. The contractor shall be responsible for the safety of all workers and the public.
 5. The contractor shall be responsible for the quality of all work and materials.
 6. The contractor shall be responsible for the timely completion of all work.
 7. The contractor shall be responsible for the cleanup of all work areas.
 8. The contractor shall be responsible for the protection of all existing structures and utilities.
 9. The contractor shall be responsible for the maintenance of all equipment and vehicles.
 10. The contractor shall be responsible for the payment of all taxes and fees.

NO.	DESCRIPTION	QTY
1	CONCRETE	100.00
2	REINFORCING BARS	100.00
3	FORMWORK	100.00
4	STEEL BRACING	100.00
5	CONCRETE	100.00
6	REINFORCING BARS	100.00
7	FORMWORK	100.00
8	STEEL BRACING	100.00
9	CONCRETE	100.00
10	REINFORCING BARS	100.00
11	FORMWORK	100.00
12	STEEL BRACING	100.00



Project Name:	17 January Road
Drawing Title:	Schedule
Date:	August 14, 2024
Scale:	1/2" = 1'-0"
Drawn By:	John Miller
Checked By:	Mike Smith
Drawing #:	A61



Notes:

- 1. All dimensions are in feet and inches.
- 2. All elevations are shown in perspective.
- 3. All elevations are shown in perspective.
- 4. All elevations are shown in perspective.
- 5. All elevations are shown in perspective.
- 6. All elevations are shown in perspective.
- 7. All elevations are shown in perspective.
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- 9. All elevations are shown in perspective.
- 10. All elevations are shown in perspective.
- 11. All elevations are shown in perspective.
- 12. All elevations are shown in perspective.
- 13. All elevations are shown in perspective.
- 14. All elevations are shown in perspective.
- 15. All elevations are shown in perspective.
- 16. All elevations are shown in perspective.

NO.	REVISIONS	DATE
1	ISSUE FOR PERMIT	08/21/20
2	ISSUE FOR PERMIT	08/21/20
3	ISSUE FOR PERMIT	08/21/20
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Project Name	
17 Temporary Road	
Drawing Title	
20 Elevations	
Date	Date
August 21, 2020	08/21
Drawn By	Spec/Builder
Checked By	Mike Smith
Drawing #	A91



Notes:

1. All work shall be in accordance with the applicable building codes and standards.
2. The contractor shall be responsible for obtaining all necessary permits.
3. The contractor shall be responsible for the safety of all workers and the public.
4. The contractor shall be responsible for the protection of all existing utilities.
5. The contractor shall be responsible for the cleanup of all construction debris.
6. The contractor shall be responsible for the maintenance of all access roads.
7. The contractor shall be responsible for the protection of all adjacent property.
8. The contractor shall be responsible for the completion of all work within the specified time frame.
9. The contractor shall be responsible for the payment of all subcontractors.
10. The contractor shall be responsible for the payment of all taxes and fees.
11. The contractor shall be responsible for the maintenance of all records.
12. The contractor shall be responsible for the completion of all required inspections.
13. The contractor shall be responsible for the protection of all workers and the public.
14. The contractor shall be responsible for the safety of all workers and the public.
15. The contractor shall be responsible for the protection of all existing utilities.
16. The contractor shall be responsible for the cleanup of all construction debris.
17. The contractor shall be responsible for the maintenance of all access roads.
18. The contractor shall be responsible for the protection of all adjacent property.
19. The contractor shall be responsible for the completion of all work within the specified time frame.
20. The contractor shall be responsible for the payment of all subcontractors.
21. The contractor shall be responsible for the payment of all taxes and fees.
22. The contractor shall be responsible for the maintenance of all records.
23. The contractor shall be responsible for the completion of all required inspections.

NO.	DESCRIPTION	DATE
1	GENERAL CONTRACT	08/20/20
2	GENERAL CONTRACT	08/20/20
3	GENERAL CONTRACT	08/20/20
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Project Name: 17 January Road
 Drawing Title: 3D Elevations (Shelter)
 Date: August 21, 2020
 Drawn By: Ryan Malloy
 Checked By: Mike Smith
 Drawing #: **A92.1**



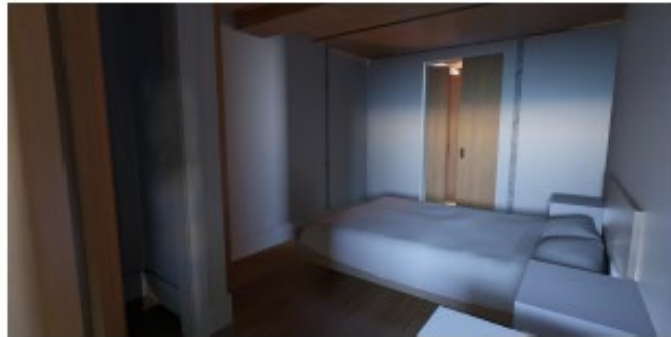
General Notes:

1. The owner has provided all necessary information for the design of this project. It is the responsibility of the architect to verify the accuracy of the information provided.
2. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any tests or investigations conducted by others.
3. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any tests or investigations conducted by others.
4. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any tests or investigations conducted by others.
5. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any tests or investigations conducted by others.
6. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any tests or investigations conducted by others.
7. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any tests or investigations conducted by others.
8. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any tests or investigations conducted by others.
9. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any tests or investigations conducted by others.
10. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any tests or investigations conducted by others.

NO.	REVISIONS	DATE
1	ISSUE FOR PERMIT REVIEW	08/16/20
2	ISSUE FOR PERMIT REVIEW	08/17/20
3	LANDSCAPE CONSTRUCTION	08/16/20
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Project Name:		17 Tannery Road	
Drawing Title:		3D Elevations	
Date:	August 16, 2020	Scale:	AS IS
Drawn By:	Amy Wallace	Checked By:	Mike Lewis
Drawing #:	A93		



Assumptions:
 1. All dimensions are based on the architectural drawings.
 2. All materials are as shown in the drawings.
 3. All work is to be done in accordance with the current building codes.
 4. All work is to be done in accordance with the current local, state, and federal regulations.
 5. All work is to be done in accordance with the current industry standards.
 6. All work is to be done in accordance with the current best practices.
 7. All work is to be done in accordance with the current safety protocols.
 8. All work is to be done in accordance with the current environmental regulations.
 9. All work is to be done in accordance with the current health and safety regulations.
 10. All work is to be done in accordance with the current fire and life safety regulations.
 11. All work is to be done in accordance with the current accessibility regulations.
 12. All work is to be done in accordance with the current energy efficiency regulations.
 13. All work is to be done in accordance with the current water efficiency regulations.
 14. All work is to be done in accordance with the current air quality regulations.
 15. All work is to be done in accordance with the current noise abatement regulations.
 16. All work is to be done in accordance with the current vibration control regulations.
 17. All work is to be done in accordance with the current electromagnetic interference regulations.
 18. All work is to be done in accordance with the current radio frequency interference regulations.
 19. All work is to be done in accordance with the current radio frequency exposure regulations.
 20. All work is to be done in accordance with the current radio frequency safety regulations.

NO.	REVISION	DATE
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Project Name	
17 Tannery Road	
Drawing Title	
200 Interior Views Main Level	
Date	Scale
August 11, 2020	1/2" = 1'-0"
Drawn By	Open/Modified
Checked By	Mike Smith
Sheet #	A95

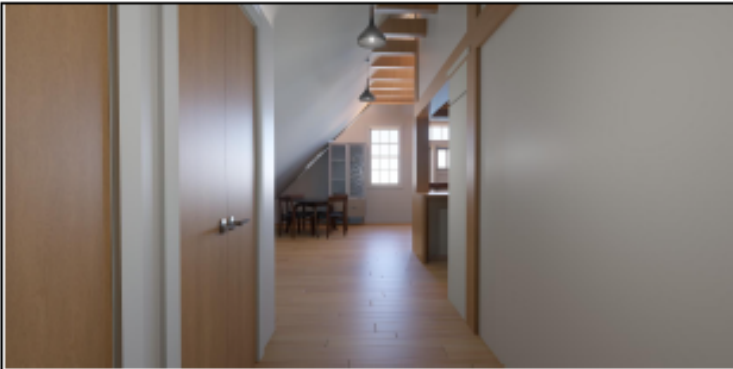


Disclaimer:
 This drawing is a conceptual rendering of the proposed design and is not intended to be used for construction purposes. It is provided for informational purposes only and is subject to change without notice. The client acknowledges that the actual construction may vary from the drawing due to site conditions, material availability, and other factors. The client agrees to hold the architect harmless for any such variations. This drawing is not a contract and does not constitute an offer of any services. The client is advised to consult with a professional engineer or other qualified professional for any structural or engineering requirements. The architect's liability is limited to the design and construction of the building and does not extend to any other matters. The client agrees to indemnify and hold the architect harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or in connection with the design and construction of the building, whether or not such claims, damages, and expenses are caused in whole or in part by the negligence of the architect. The client agrees to pay the architect's reasonable and documented costs for the design and construction of the building, including the cost of any materials, labor, and overhead. The client agrees to pay the architect's fee in full upon completion of the design and construction of the building. The client agrees to pay the architect's fee in full upon completion of the design and construction of the building. The client agrees to pay the architect's fee in full upon completion of the design and construction of the building.

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Project Name: 17 January Road
 Drawing Title: 00 Interior Views Main Level
 Date: August 14, 2020
 Scale: 1/8" = 1'-0"
 Drawn By: [Name]
 Checked By: [Name]
 Drawing #: A96

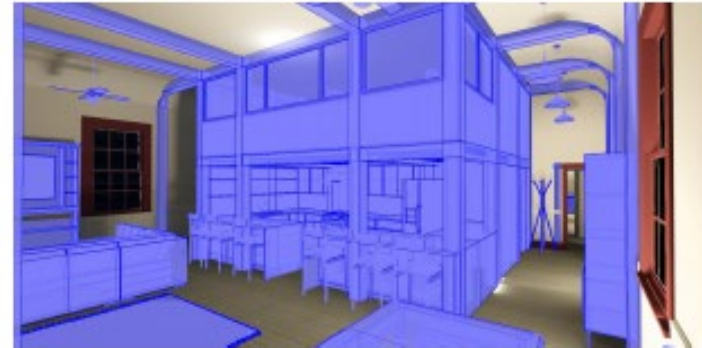
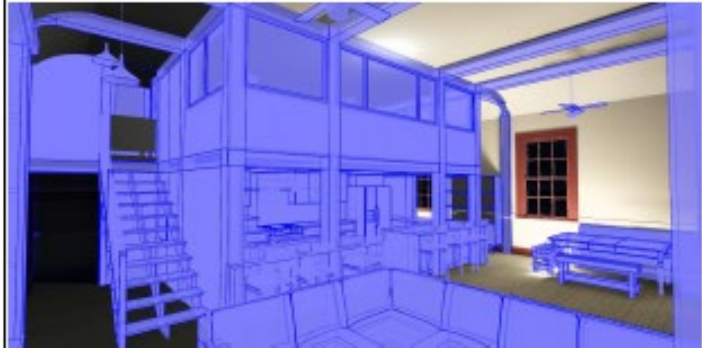


General Notes:
 1. All work shall be in accordance with the current edition of the International Residential Code (IRC) and the current edition of the International Building Code (IBC).
 2. The contractor shall be responsible for obtaining all necessary permits and inspections.
 3. The contractor shall protect all existing work and utilities.
 4. The contractor shall maintain clear access to all exits and fire escapes.
 5. The contractor shall clean up after each day's work.
 6. The contractor shall provide a safe working environment.
 7. The contractor shall comply with all applicable safety regulations.
 8. The contractor shall provide a copy of the final drawings to the owner.
 9. The contractor shall provide a copy of the final schedule to the owner.
 10. The contractor shall provide a copy of the final cost breakdown to the owner.

NO.	GENERAL NOTES	REV.
1	REMOVE EXISTING STAIRS	08-24-24
2	INSTALL NEW STAIRS AS SHOWN	08-24-24
3	CONCRETE FLOOR FINISH	08-24-24
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Project Name: 17 Tannery Road
 Drawing Title: 200 Interior Views Upper Level
 Date: August 24, 2024
 Scale: NTS
 Drawn By: Ryan Walker
 Checked By: Mike Smith
 Drawing #: A98

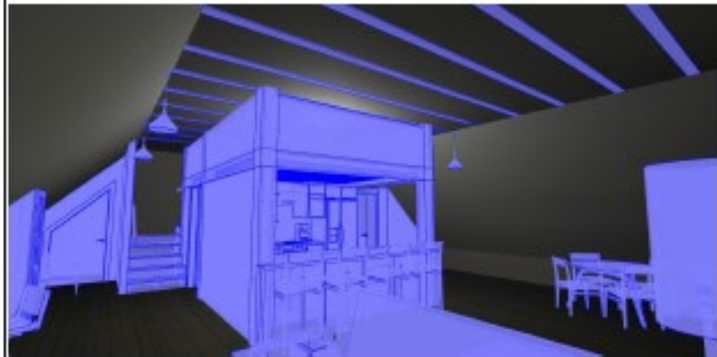


Project Name:
 17 Kennedy Road
 30 Interior Home Comparisons
 August 11, 2020

REV	REVISIONS	DATE
1	ISSUE FOR PERMIT REVIEW	2020-08-11
2	ISSUE FOR PERMIT REVIEW	2020-08-11
3	ISSUE FOR PERMIT REVIEW	2020-08-11
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Project Name: 17 Kennedy Road	
Drawing Title: 30 Interior Home Comparisons	
Date: August 11, 2020	Scale: N.T.S.
Drawn By: OpenBuilder	
Checked By: Mike Smith	
Sheet #: A99	



Notes:
 1. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 2. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 3. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 4. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 5. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 6. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 7. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
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 9. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
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 14. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 15. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 16. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 17. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 18. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 19. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.
 20. The interior design is a conceptual rendering and is not a final design. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes.

REV	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	08/11/20
2	ISSUE FOR PERMIT	08/11/20
3	ISSUE FOR PERMIT	08/11/20
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Project Name	
17 Fenway Road	
Drawing Title	
3D Interior Views Comparison	
Date	Date
August 11, 2020	08/11
Drawn by	Spec/Builder
Checked by	Mike Smith
Drawing #	A910

Appendix B – Old New Town School Statement of Significance

Old New Town School

17 Tannery Road, Lunenburg, Nova Scotia, B0J, Canada

Formally Recognized: 2000/07/13



OTHER NAME(S)

Old New Town School

School Annex

Arts and Crafts Building

LINKS AND DOCUMENTS

[Overview of Lunenburg, including architectural tour and town history provided by the Town of Lunenburg.](#)

CONSTRUCTION DATE(S)

1883/01/01 to 1883/12/31

LISTED ON THE CANADIAN REGISTER: 2004/03/22

STATEMENT OF SIGNIFICANCE

DESCRIPTION OF HISTORIC PLACE

The Old New Town School is a one-and-a-half storey wooden structure, simple in design and rectangular in form with a protruding enclosed porch. The building is located in the New Town area of Lunenburg, NS, with substantial green space surrounding the building. Designation covers both the building and the surrounding land.

HERITAGE VALUE

The Old New Town School is valued as a reminder of the era of one-room school houses in Nova Scotia. These schools were eventually supplanted by the Academy system, a new academic system implemented province-wide, and consequently the Lunenburg Academy replaced this building. The building was built in 1883 and remains in excellent condition. It retains many original features, including the windows and entrance. The school remains in use by the modern Lunenburg High School located across the road as extra classroom space, making it a rare example of continuous use of a one-room school building from the nineteenth century to the present day.

Source: Heritage Designation File 66400-40-53, Town of Lunenburg.

CHARACTER-DEFINING ELEMENTS

Character-defining elements of the Old New Town School relate to its architecture and use as an educational facility, and include:

- original enclosed porch, with transom and sidelight windows, and original six-over-six windows;
- simple, symmetrical design, augmented by a steeply pitched gable roof, cornerboards, and simply detailed fascia and eaves;

- location at a central junction in New Town with green space surrounding the building on all sides;
- interior layout of the building into two classrooms reflecting its continued use as an education facility.

Appendix C – Alteration Guidelines for Municipally Registered Heritage Properties

Alteration Guidelines for Municipally Registered Heritage Properties Town of Lunenburg

Approved by Council on October 13, 2020

1.0 Scope

These guidelines apply to all municipally registered heritage properties in the Town of Lunenburg, whether located outside of or inside the Heritage Conservation District.

2.0 Background

The Heritage Property Act allows municipalities to identify and protect structures of heritage significance. The Lunenburg Heritage Advisory Committee, established in March of 1981, has registered sixty-one (61) properties following a request from the owner and investigation by the Heritage Advisory Committee. These properties are located throughout Town, including within the Heritage Conservation District. The adoption of the Heritage Conservation Plan and By-law in 2000 effectively registered all of the buildings within the Heritage Conservation District, so further individual registrations within the Heritage Conservation District are not possible.

For those individually registered properties within the District, both a Heritage Permit and a Certificate of Appropriateness issued under the Heritage Conservation By-law are required for any external alterations.

3.0 Process

All applications to alter a registered heritage property shall be made to the Heritage Officer, who will review each application and determine whether the proposed change is a substantial or non-substantial alteration. If the Heritage Officer is unable to determine whether a proposed change is substantial or non-substantial, the application shall follow the process for a substantial change.

If the proposed changes are determined by the Heritage Officer to be non-substantial, the Heritage Officer will send a letter to the applicant advising that a Heritage Permit is not required.

If the proposed changes are determined to be substantial, a report will be prepared by the Heritage Officer for consideration by the Heritage Advisory Committee and recommendation to Council.

4.0 Substantial and Non-Substantial Alterations

For clarity, both substantial and non-substantial alterations are listed. Any non-substantial alteration must meet the Design Guidelines of the Heritage Conservation District.

The following shall be considered substantial alterations:

- additions, including porches, verandas, entries, stairways and dormers unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;
- addition or removal of windows or window openings unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

* addition or removal of doors or door openings unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

- changes to the openings for doors or windows unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;
- change in roof pitch or style (including pitch or style of a dormer) unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;
- removal of porches, verandas, entries, stairways, dormers, windows, trim materials of any type, or chimneys unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;
- change in style or design of railing or guards on porches or stairs unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;
- addition to an existing accessory building or the erection or placement of a new accessory building unless said development is in conformance with the Design Guidelines of the Heritage Conservation District (in cases where the land as well as the main building have been registered as a Municipal Heritage Property);
- addition of utilities structures such as, but not limited to, air conditioning units, kitchen vents and heat pumps unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;
- accessory structures such as, but not limited to, fences, stairways, decks, garden trellises, pergolas, awnings, pavilions, and similar items which are connected or otherwise not connected to the main building unless said development is in conformance with the Design Guidelines of the Heritage Conservation District; and
- re-shingling of roofs where not required for maintenance, including changes in the type of shingle unless said development is in conformance with the Design Guidelines of the Heritage Conservation District.

Notwithstanding anything herein contained above, the following shall be considered substantial alterations:

- any development that does not conform to the Design Guidelines of the Heritage Conservation District By-law;
- any demolition or removal of
 - a) more than 10 % of the total usable floor area of all floors including the usable floor areas of any basement and attic; or
 - b) any part of a building for which the cumulative sum of all areas of its horizontal dimensions exceeds 25% of the area of the building's existing footprint.

Usable Floor Area means the floor area that has a minimum height clearance of 1.2 m (4 ft.) or higher.

and

- any addition to a building which is greater than 25% of the area of the existing building's footprint either as an addition to the sides of the building or on top such as an additional storey.

For the sake of clarity the following shall be considered non-substantial alterations:

- changes in storm windows from painted wood to aluminum;
- replacements or repairs where no changes are intended;
- use of vinyl window inserts if no other changes taking place;
- replacement of shingles with clapboard with the same exposure, and replacement of clapboard with shingles with the same exposure;
- the erection or placement of signage;
- items which the Heritage Officer considers to be maintenance (ie. re-shingle roof if needed);
- replacement of doors or storm doors with doors which meet the Design Guidelines of the Heritage Conservation District;
- replacement of non-traditional elements with traditional (ie clad concrete steps with wood; shingle a wall now covered in plywood) which meet the Design Guidelines of the Heritage Conservation District;
- addition of glass doors inside wooden storm doors;
- rain barrels and other minor accessory structures; and
- the installation of gutters and downspouts which meet the Design Guidelines of the Heritage Conservation District.



Subject: Information Memo: Blockhouse Hill Design Project Public Engagement

From: Hilary Grant, Senior Planner & Heritage Officer

Reviewed by: N/A

Date: August 31, 2023

Recommendation

This is an Information Memo. No recommendation is sought.

Alternatives

- N/A

Background

On July 28, 2023, Staff held its kick-off meeting with MacKay-Lyons Sweetapple Architects, starting the Blockhouse Hill Design Project.

The team, including Staff and consultants, agreed to the following public engagement events as part of that meeting.

- Workshop 1 *Listening* – September 14 from 6:00-8:00 pm at the Fire Hall
- Workshop 2 *Visioning* – October 19 from 6:00-9:00 pm at the Fire Hall
- Workshop 3 *Options* – November 9 from 6:00-8:00 pm at the Fire Hall
- Council Meeting *Direction* – December 12 at 6:00 pm at Town Hall

Council approved this schedule on August 8, 2023. Staff and consultants are pleased to announce these events and welcome everyone to attend and contribute.

Discussion

On June 13, 2023, Council awarded the Blockhouse Hill contract to MacKay-Lyons Sweetapple Architects for \$144,843.00 (plus HST), following the Request for Proposals (RFP #TOL2023001) issued February 8, 2023. Staff recommended awarding the contract to MacKay-Lyons Sweetapple Architects because their proposal combined internationally renowned expertise with local knowledge and community presence and was within the Town's budget.

The Blockhouse Hill Project includes a public engagement process. The RFP required at least three public engagements, a visioning report and a 'What We Heard Report.' MacKay-Lyons Sweetapple Architects' proposal included four public engagements: three public workshops and a public meeting before Council. Their proposal also included nine examples of the firm's participatory design approach,

where community members are valued collaborators in shaping project programs and determining design directions.

Each workshop will open with a brief staff presentation outlining the process and introducing attendees to their consultants. Workshop 1, *Listening*, will include group discussion around Lunenburg and Blockhouse Hill's meaning to the community. Workshop 2, *Visioning*, will explore possible futures for Blockhouse Hill, including what residential development may look like through two participatory *design exercises*. *We will also hear the results of the archaeological reconnaissance at this meeting*. An online survey is being prepared for those who cannot attend these two in-person events. At Workshop 3, *Options*, MacKay-Lyons Sweetapple Architects will bring forward a range of possible designs for Blockhouse for public input. MacKay-Lyons Sweetapple Architects will then revise these possible designs based on community feedback into four options and bring them before Council on December 12, 2023. Members of the public will also be able to present before Council at the December 12, 2023, meeting.

Strategic Plan Relevance

Community Structure:

- Direction regarding how the Town will be structured and how land will be used.

Housing:

- Direction to support different types of housing development, tenant structures, and affordability.

Heritage:

- Preserve the valuable heritage resources of Lunenburg while embracing an ongoing landscape evolution.

Urban Design:

- Direction to enhance residents' and visitors' experience of the built environment.

Relevant Legislation

UNESCO's *Convention Concerning the Protection of the World Cultural and National Heritage*

Town of Lunenburg's *Comprehensive Community Plan*

Town of Lunenburg's *Municipal Planning Strategy*

Town of Lunenburg's *Land-Use By-law*

Town of Lunenburg's *Subdivision By-law*

Town of Lunenburg's *Old Town Lunenburg Heritage Conservation District Plan and By-law*

Financial

There are no financial implications for the Town. The cost of public participation is covered under the project budget already approved.

Communications

Staff will work closely with the MacKay-Lyons Sweetapple Architects team to publicize these public engagement events on the Town's website and social media channels.

Attachments

N/A