

TOWN OF LUNENBURG
COUNCIL MEETING AGENDA
Tuesday, February 11, 2025 | 6 pm
Lunenburg Town Hall – Council Chamber
120 Townsend Street



NOTICE: Council meetings are open to the public and held in Town Hall. **Please use the back entrance at 120 Townsend Street.**

The public can also watch meetings through Zoom. To livestream this meeting starting at 6 pm, use this Zoom link: <https://us06web.zoom.us/j/88956545878>

Meeting recordings are also available on the Town's [YouTube](#) channel.

1. CALL TO ORDER

2. LAND ACKNOWLEDGEMENT

This meeting takes place in the traditional and ancestral territory of the Mi'kmaq people. We are all Treaty people.

3. ADDITIONS/ DELETIONS TO AGENDA

4. APPROVAL OF AGENDA

4.1 February 11, 2025 Council Meeting Agenda

Recommendation: That Council approve the agenda for the February 11, 2025 meeting as presented.

5. APPROVAL OF MINUTES

5.1 January 28, 2025 Meeting Minutes

Recommendation: That Council approve the January 28, 2025 meeting minutes as presented.

6. PRESENTATIONS

6.1 Council Recognition: Marcus Hannam & Bruno Whynot – *Canadian U18 Curling Championships*

6.2 Nova Scotia 55+ Games – *Andrew Tanner*

6.3 South Shore Public Libraries Annual Update – *Ashley Nunn-Smith, CEO & Chief Librarian*

7. PUBLIC INPUT AND QUESTIONS – 20 MINUTES

- Each person is limited to 3 minutes
- Each person must state their name
- Questions or comments are directed to the Chair
- Comments and questions are open to any municipal matter

8. CORRESPONDENCE

Correspondence items included on the agenda have been submitted for Council's information and do not imply endorsement by the Town. The content of correspondence reflects the views of the author and has not been independently verified. Should Council wish to take action on an item, a motion must be made.

8.1 Board Appointment Request: Board of Directors at Harbour View Haven

Recommendation: That Council appoint Dale Kelly to the Harbour View Haven Board of Directors in accordance with the appointment process outlined in the Harbour View Haven Bylaws.

8.2 Downtown Parking Issue – Martha Langford

9. PUBLIC HEARINGS, PUBLIC INFORMATION MEETINGS AND APPEALS

Public hearings are held to discuss planning and development items and new bylaws or changes to existing bylaws. They are open to anyone to speak or submit written comments. Public hearing process:

- Staff and/or applicant will provide an overview of the agenda item
- Staff and/or applicant will answer questions from Council
- The meeting opens to the public for questions/input
- Each person is limited to 5 minutes
- Each person must state their name
- Questions or comments are directed to the Chair
- Once the public hearing is closed, no further questions or comments on the matter will be received

9.1 Daycare Lease of Town Land

Recommendation 1: That Council close the public hearing regarding the leasing of Town land to the Lunenburg Daycare Centre.

Recommendation 2: That Council commits to entering into a long-term lease agreement with the Lunenburg Daycare Centre on land parcel [insert land option(s)], for the purpose of developing the site into a new daycare centre, subject to final lease negotiations and necessary approvals.

9.2 Issuance of a Certificate of Appropriateness: Proposed Developments at Lot 2 Pelham Street & Lot 3 Montague Street

Recommendation 1: That Council close the public hearing regarding the issuance of a Certificate of Appropriateness for the construction of the commercial structure located on Lot 3, Montague Street and the residential structure located on Lot 2, Pelham Street.

Recommendation 2: That Council approve the issuance of a Certificate of Appropriateness for the construction of the commercial structure located on Lot 3, Montague Street and the residential structure located on Lot 2, Pelham Street.

10. BUSINESS ARISING AND UNFINISHED BUSINESS

10.1 Decision: Accessible Housing Incentive Policy

Recommendation: That Council approve the new Accessible Housing Incentive Policy as presented.

11. NEW BUSINESS

11.1 Pan-African Flag Raising Request – Gem Roberts, Anti-Racism and Diversity Coordinator (*verbal*)

Recommendation: That Council approve raising the African Heritage Month flag at the UNESCO flagpoles (Prince & Townsend Streets) for the month of February, and that this request be in effect for each February until 2028, in accordance with Council's Public Statements Policy.

11.2 Information Report: Civic Square Condition Assessment Report Summary

11.3 Notice: Affordable Housing Tax Forgiveness Policy

Recommendation: That Council give notice to approve the new Affordable Housing Tax Forgiveness Policy as presented.

11.4 Request for Direction: Setting a Fixed Committee of the Whole Schedule

11.5 Information Report: Potable Water Quality Test Results: July to September 2024

11.6 Information Report: Wastewater Quality Test Results: July to September 2024

12. NOTICES OF MOTION, INFORMATION REQUESTS AND COUNCILLOR REPORTS

12.1 LUB Amendment – *Notice provided by Deputy Mayor Bailey on Jan. 28, 2025*

Draft motion: That staff begin the planning process to consider amending the Land Use By-law to change the zoning of the Salt Meadow subdivision from Medium Density to Low Density, consistent with the intent and configuration of the original property development plan.

13. ITEMS FOR CONSIDERATION AT COMMITTEE OF THE WHOLE

14. CLOSED SESSION

14.1 Personnel Matter

14.2 Personnel Matter

14.3 Acquisition, sale, lease and security of municipal property

Recommendation: That Council move in closed session at _____ to discuss agenda items 14.1, 14.2 and 14.3 per the Municipal Government Act.

15. ADJOURNMENT

TOWN OF LUNENBURG
COUNCIL MEETING MINUTES

January 28, 2025 | 6 pm

Lunenburg Town Hall – Council Chamber and virtually through Zoom



- Present Mayor Jamie Myra, Deputy Mayor Rachel Bailey, Councillors Renea Babineau, Debbie Dauphinee, Gale Fullerton, Alex Greek and Alison Strachan
- Also present Hilary Grant, Interim CAO
Tyson Joyce, Director of Public Works
Marc Kiely, Interim Director of Community Development
Trevor Hume, Planner
Angela Shewchuk, Human Resources Consultant
Kayla Byrne, Legislative & Policy Manager
- Call to Order The meeting was called to order at 6:00 p.m.
- Land acknowledgment It was acknowledged that Lunenburg is located in the unceded territory of the Mi'kmaq people.
- Additions & Approval of Agenda There was a general agreement from Council to add agenda item 14.4: Legal advice for closed session.

Moved and seconded that Council approve the agenda for the January 28, 2025 meeting as amended.

Motion carried unanimously
- Approval of Minutes Moved and seconded that Council approve the January 14, 2025 meeting minutes as presented.

Motion carried unanimously
- Presentation: Dave Robb's Retirement Council recognized Dave Robb for his years of dedication to the Lunenburg community as he retires from his role at Foodland. Beyond his work at the store, Dave has been an active community leader, contributing to fundraising initiatives and serving as Deputy Chief of the Lunenburg District Fire Department.
- Presentation: Jennifer Collins Classic Council received a presentation on the Jennifer Collins Classic. The organizers inquired if the Town of Lunenburg could contribute financially or provide in-kind support (fee waivers or discounts) to recognize the event's economic and community impact.

Following the presentation Council made the following motion:

Moved and seconded that Council direct staff to enter into a conversation with the Jennifer Collins Classic organizing committee to explore potential ways the Town may be able to support the event, taking into consideration any logistical and budgetary constraints.

Motion carried unanimously

Presentation:
Parking and
Traffic Study

Council received the Lunenburg Traffic and Parking Study, which explores solutions to seasonal traffic and parking challenges. Recommendations include installing an all-way stop at Dufferin/Lincoln/Falkland, upgrading the Community Centre parking lot, and introducing a pay-by-plate parking system.

Councillors discussed and inquired about proposed changes to intersections, parking congestion in the downtown core, traffic flow and safety considerations, parking payment options, and concerns over the feasibility of relocating downtown employee parking.

There was general agreement to refer the Lunenburg Traffic and Parking Study to a future Committee of the Whole meeting to identify any possible follow-up actions and prioritize recommendations.

Council made the following motion:

Moved and seconded that Council direct staff to work towards collaborating with the Municipality of the District of Lunenburg and the local MLA to work towards the recommendation identified in the Parking and Traffic Study regarding safety improvements at the intersection of Route 332 and Trunk 3.

Motion carried unanimously

Public Input

Irma Da Sie addressed Council regarding town planning and the future use of municipal land. She noted that the discussion around a potential daycare center led her to consider the RV park as a possible location.

Jesse Ward requested more details on the upcoming strategic planning session, including its agenda, costs, and intended outcomes.

Correspondence

Council received a sponsorship request for Curl for a Cause. It was noted the Town had already provided a sponsorship earlier this year.

Council received an invitation to participate in Communities in Bloom.

Council received a letter from Paula Rennie outlining concerns regarding the management of Lunenburg's World Heritage Site and suggests several actions for Council's consideration, including responding to ICOMOS and reviewing aspects of the site's oversight. It was noted this discussion topic has been scheduled for an upcoming Committee of the Whole meeting.

(CUPE) Local 1780 Council received a verbal report on the new collective agreement between the Town of Lunenburg and CUPE Local 1780, covering non-management Public Works staff. The four-year agreement (November 1, 2024 – October 31, 2028) includes a \$3.50 per hour wage increase in the first year, followed by 3% annual increases for the remaining three years.

Following the report, Council made the following motion:

Moved and seconded that Council ratify the 2024–2028 collective agreement with the Canadian Union of Public Employees (CUPE) Local 1780, as approved by CUPE Local 1780 members on January 14, 2025, and authorize the Interim Chief Administrative Officer to execute the agreement on behalf of the Town of Lunenburg.

Motion carried unanimously

Curbside Waste Collection Services Contract Moved and seconded that Council award the Curbside Waste Collection Services Contract to GE's All Trucking Limited from fiscal 2026/27 up to fiscal 2032/33.

Motion carried unanimously

RFP Award: Stormwater Separation Masterplan Moved and seconded that Council increase the budget for the Storm Separation Plan Project to \$127,000 funded by Sewer Reserves.

Motion carried unanimously

Moved and seconded that Council award the Stormwater Separation Masterplan Request for Proposal (RFP) to CBCL for the amount of \$109,975 + HST.

Motion carried unanimously

Accessible Housing Incentive Policy Moved and seconded that Council give notice to approve the new Accessible Housing Incentive Policy as presented.

Motion carried unanimously

Notices of Motion
/ Councillor
Reports

Councillor Strachan provided a reminder that the Cultural Tourism Working Group will meet at the Fisheries Museum on Thursday, with public sessions scheduled from 1:00–3:00 PM and 4:00–6:00 PM, encouraging community attendance.

Additionally, Councillor Strachan commended staff for their efforts in negotiating the new collective agreement.

Councillor Dauphinee acknowledged World Cancer Day on February 4th, highlighting its 2025-2027 theme, "United by Unique," emphasizing a people-centred approach to cancer care. She encouraged the community to honour those affected, support cancer patients, and contribute where possible.

Deputy Mayor Bailey provided a follow-up on the Parking and Traffic Study, noting that a February 27, 2024, motion by the previous Council directed staff to work on a proposed Land Use Bylaw amendment to enable up to five on-site parking spaces in front yards. This amendment was reviewed by the Planning Advisory Committee (PAC) but has not progressed further. In response to this, Council made the following motion:

Moved and seconded that Council direct staff to expand their review beyond the motion passed on February 27, 2024, which directed staff to work on a proposed amendment to the Land Use By-law (LUB) to enable up to five on-site parking spaces in front yards, and further explore additional options to address parking challenges in the Salt Meadow subdivision and the apartment buildings in that neighbourhood.

Motion carried unanimously

In addition, direction was given to staff to arrange a meeting with the Deputy Mayor, CAO, Bylaw Officer, and RCMP to discuss ongoing issues in the Salt Meadow subdivision, including but not limited to parking challenges, traffic safety, and bylaw enforcement concerns.

Deputy Mayor Bailey provided the following notice of motion for consideration at Council's next regular meeting: That staff begin the planning process to consider amending the Land Use By-law to change the zoning of the Salt Meadow subdivision from Medium Density to Low

Density, consistent with the intent and configuration of the original property development plan.

Next Committee of the Whole

There was a general agreement that Council's schedule its next Committee of the Whole meeting for Tuesday, March 4, 2025 at 6 p.m. in Council Chambers.

Upcoming COTW items include:

- Washroom Facilities at Lunenburg Academy
- Heritage Impact Inquiry on Buffer Zone Development
- Cornwallis Street Renaming
- Short-Term Housing Report
- Traffic and Parking Study

Closed session

Moved and seconded that Council move in closed session at 7:48 p.m. to discuss agenda items 14.1, 14.2 and 14.3 per the Municipal Government Act.

Motion carried unanimously

Before heading into closed session, the Mayor called a brief recess.

Adjournment

Council reverted to open session at 9:47 p.m.

There being no further business, the January 28, 2025 Council meeting adjourned at 9:47 p.m.

The minutes were read and approved.

NOVA SCOTIA 55+ GAMES

September 21 – 25, 2025

LUNENBURG COUNTY



Lunenburg County Lifestyle Centre



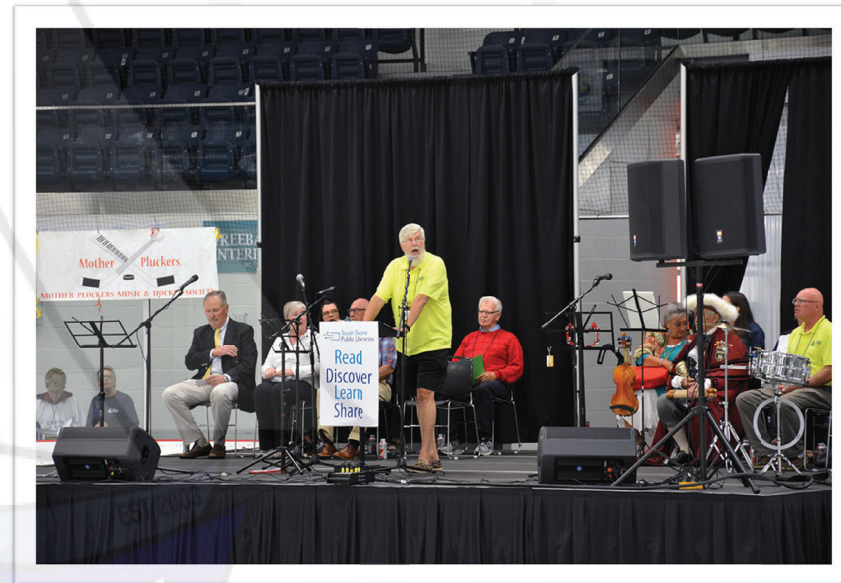
2025 NOVA SCOTIA 55+ GAMES

Last hosted in Lunenburg County in 2017, building on their legacy.

2025 Games Secured by LCLC

**2025 Games Overview:
Sun. Sept. 21 – Thurs. Sept. 25**

- 4 nights/5 days
- 700+ Participants
- 22 Events
- 20+ Venues
- Opening & Closing Ceremonies
- Nightly Social Programs



2025 NOVA SCOTIA 55+ GAMES

Vision

To showcase Lunenburg County and the South Shore while providing the participants and spectators of the 2025 Nova Scotia 55+ Games with a memorable and enjoyable experience.

Objectives

- Stimulate tourism, economic, and community growth.
- Develop & enrich 55+ community using games and events
- Supporting education and awareness for seniors in our community/
- Deliver the events in accordance with all NS 55+ Games requirements.



2025 NOVA SCOTIA 55+ GAMES

- **Hosting Committee:**
Formed under Events Lunenburg County
- **Co-chairs:**
Andrew Tanner, Saltbox Brewing Company
Joanne Cooper, Best Western Plus Bridgewater
- **Support Staff:**
LCLC, MODL, and TOB
Mile East for Event Hosting Coordination
- **Nova Scotia 55+ Games Society Support:**
South Shore Reps: Maurice Poirier, Ellen Gaudet
Provincial Rep: Les Anderson, President



2025 NOVA SCOTIA 55+ GAMES

Lunenburg County Demographics

Lunenburg County (2024 est. Population 53,257)

- 48% of population is 55 + (25,627)
(12% are 49-54 years)
- 26% (13,885) Male
- 31% (15,228) Female
- Median Age: 53.6 years
- Dominant Age Group: 60-64 years

Queens County

- 51% of population is > 55 years (5,705)
- Media Age: 55.6

Combined, 49% of the Lunenburg Queens is 55+



2025 NS 55+ GAMES: 23 Events

- 5 km / 10km Run
- 8 Ball
- Bowling
- Bridge
- Cribbage
- Curling
- Cycling
- Darts
- Forty-Fives
- Golf
- Hockey: Men's
- Hockey: Women's
- Pickleball
- Predicted Walking
- Mountain Biking

- Skip Bo
- Stick Curling
- Swimming
- Tennis
- Track & Field
- Washer Toss

Demonstration

- Kayaking

Try it!

- Chess
- SUP
- Tai Chi



2025 NS 55+ GAMES: 24 VENUES

Bridgewater

- Bridgewater Bowling Alley
- Bridgewater Baptist Church
- Bridgewater Curling Club
- Bridgewater Legion
- Bridgewater Tennis Club
- Centennial & connecting MODL Trails
- Flourish 55+ Centre
- HB Studios
- LaHave River
- Lunenburg County Lifestyle Centre
- Michelin Social Club
- NSCC Lunenburg Campus
- Shipyards Landing Park

MODL

- New Germany Legion
- Osprey Ridge Golf Course
- River Ridge Common

Lunenburg

- Lunenburg Bowling Alley
- Lunenburg Community Gym
- Lunenburg Tennis Club
- Lunenburg Track and Field

Mahone Bay

- Mahone Bay Centre
- Mahone Bay Tennis Club

Chester

- Sherwood Golf Course

Region of Queens

- Queens Place Emera Centre

**Venues may be subject to change*



2025 NOVA SCOTIA 55+ GAMES

Host Committee

- **Co-Chairs**
- **Secretary**
- **Committee Chairs**
 - Events (oversees all events)
 - Social/Activities & Ceremonies
 - Operations/Registration
 - Volunteers
 - Sponsorship
 - Budget/Finance
 - Marketing & Communication
 - Appeals

Draft Budget: \$185,000 (incl \$20k legacy project)



Get Involved!

- **Chair a Committee, serving on Host Committee**
- **Host Committee Secretary**
- **Serve on a Committee**
 - 22+ Events to get involved with
 - Social/Activities & Ceremonies
 - Operations/Registration
 - Volunteer recruitment/coordination
 - Sponsorship
 - Budget/Finance
 - Marketing & Communication
 - Appeals



Lunenburg County Lifestyle Centre



Community Highlights

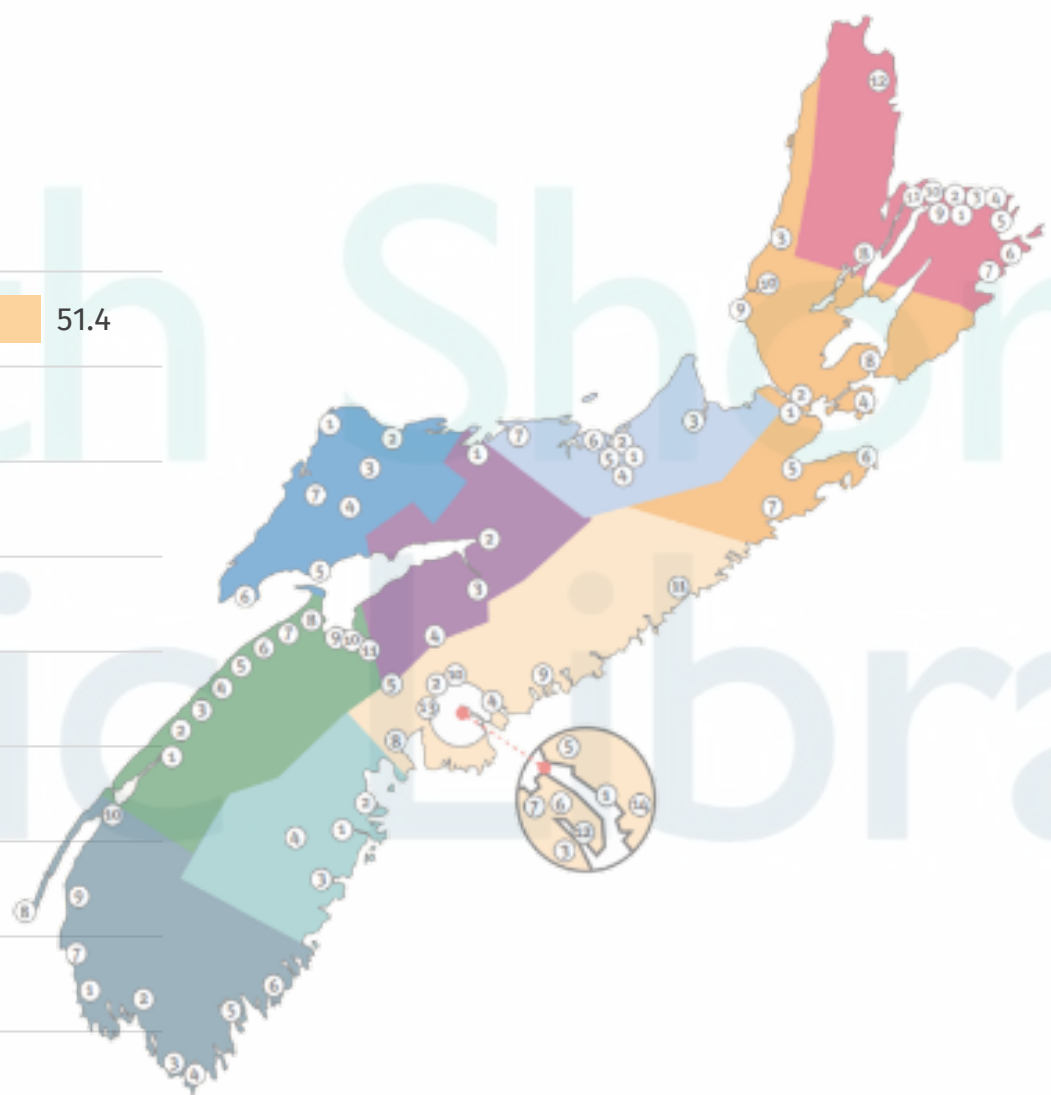
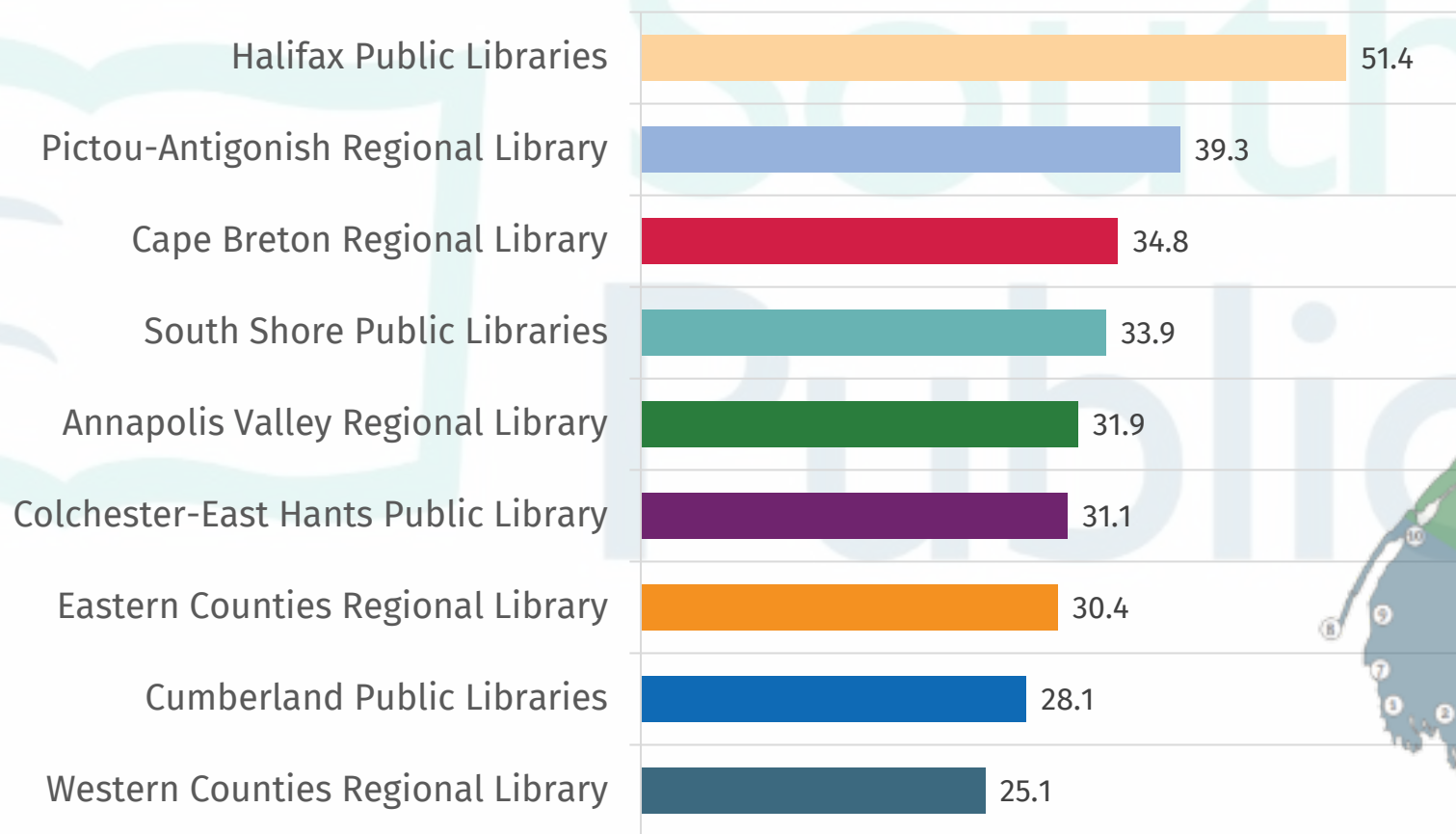
Town of Lunenburg Council

February 11, 2025

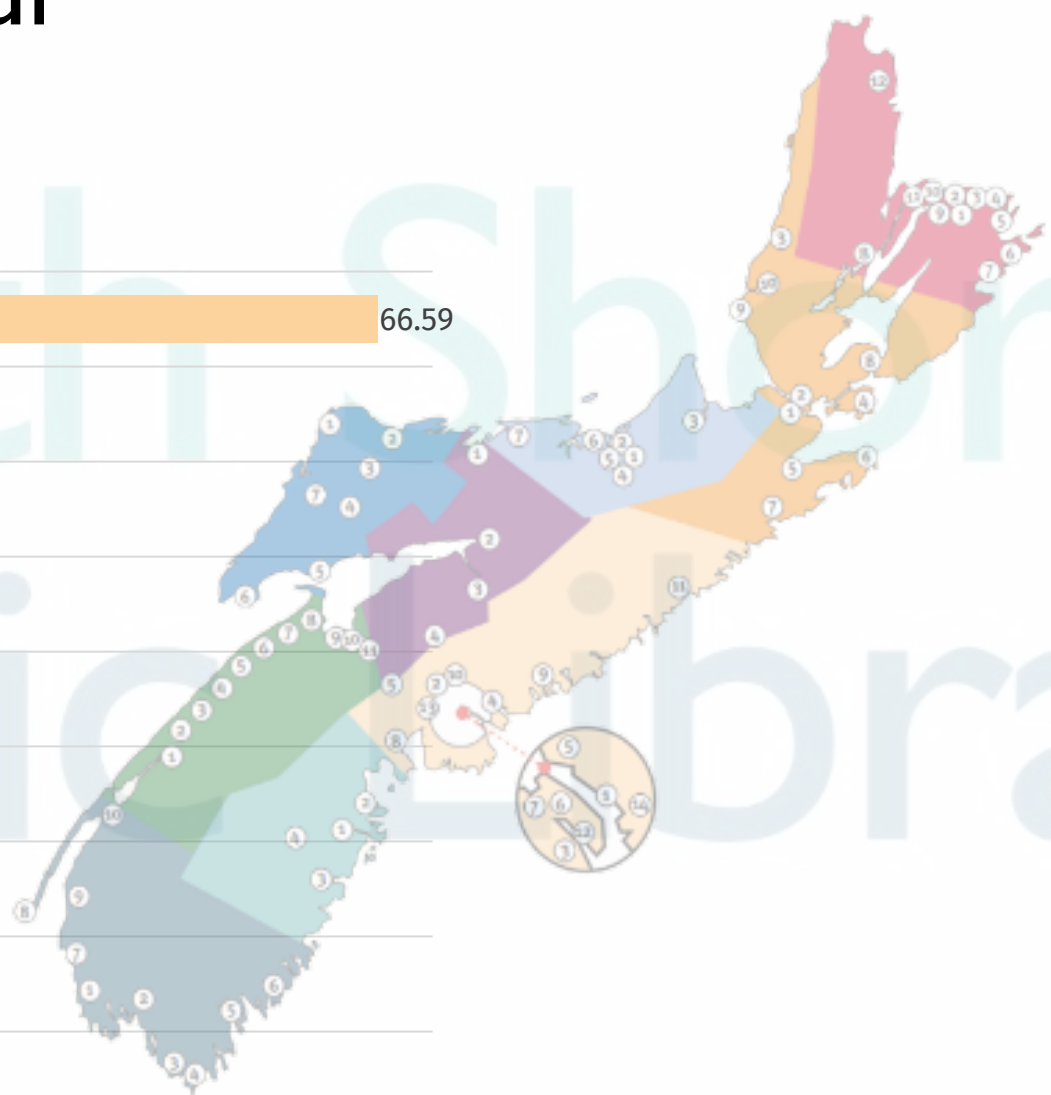
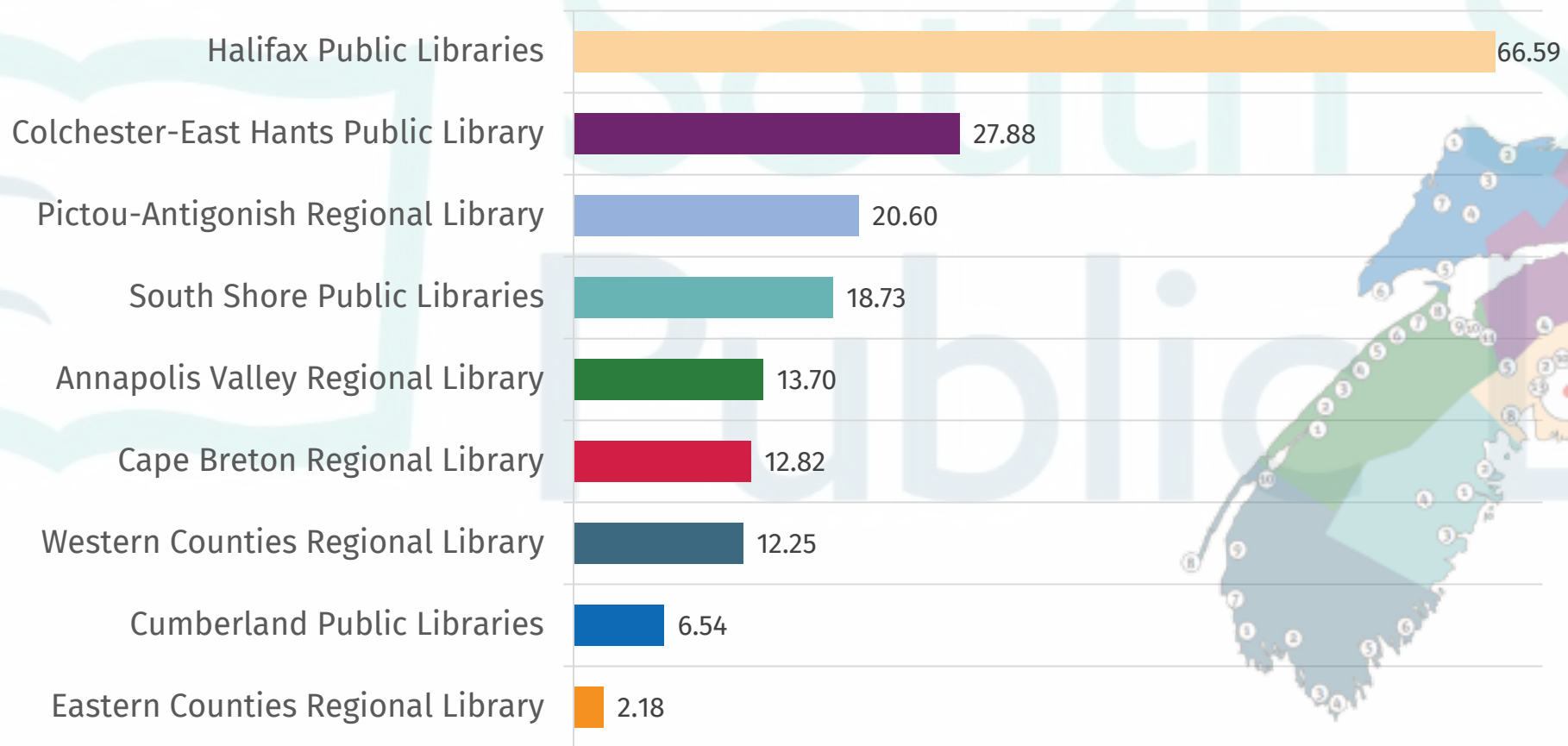
SOMETHING FOR EVERYONE



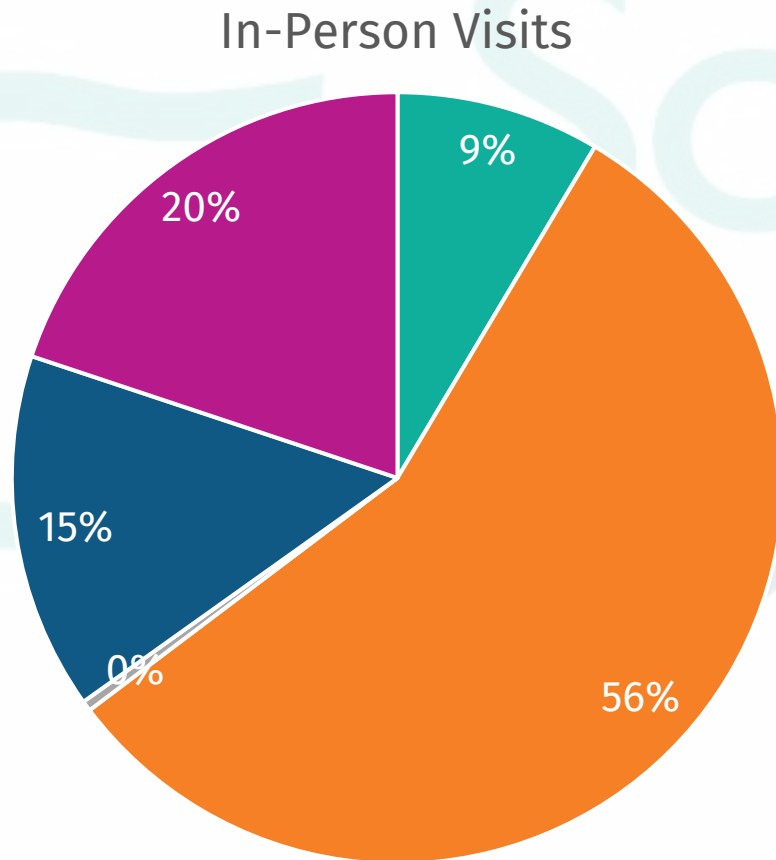
Weekly Open Hours per Location (2023-2024)



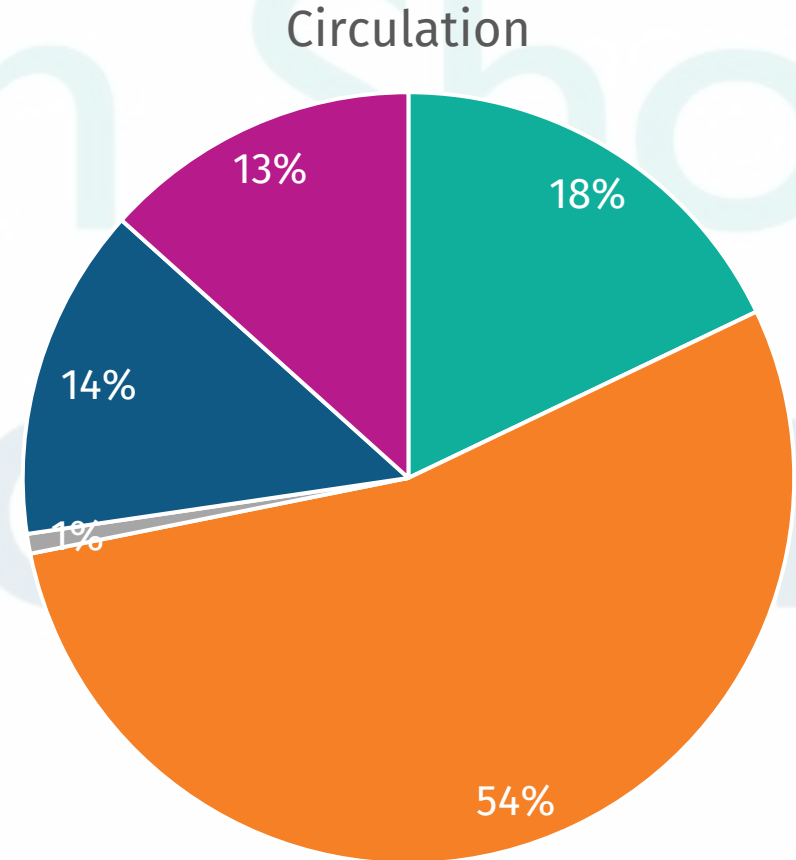
In-Person Visits per Open Hour (2023-2024)



Branch Comparison (2023-2024)



- Bookmobile
- Bridgewater
- Greenfield
- Liverpool
- Lunenburg



Core & Innovative Library Service

Supporting Family Literacy

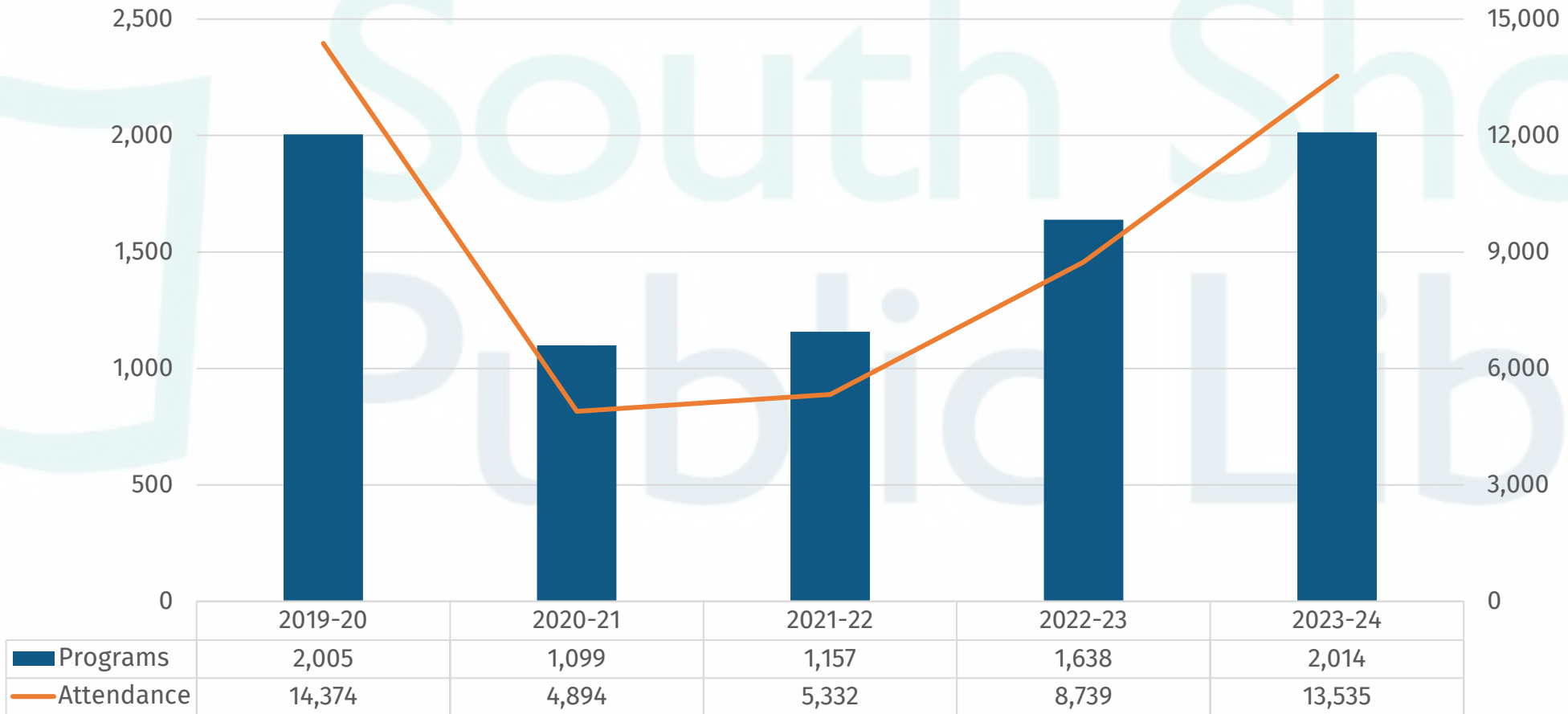
- Picture books, toys and games
- Reading together as a family contributes to early literacy
- Sets kids up for success in school and beyond



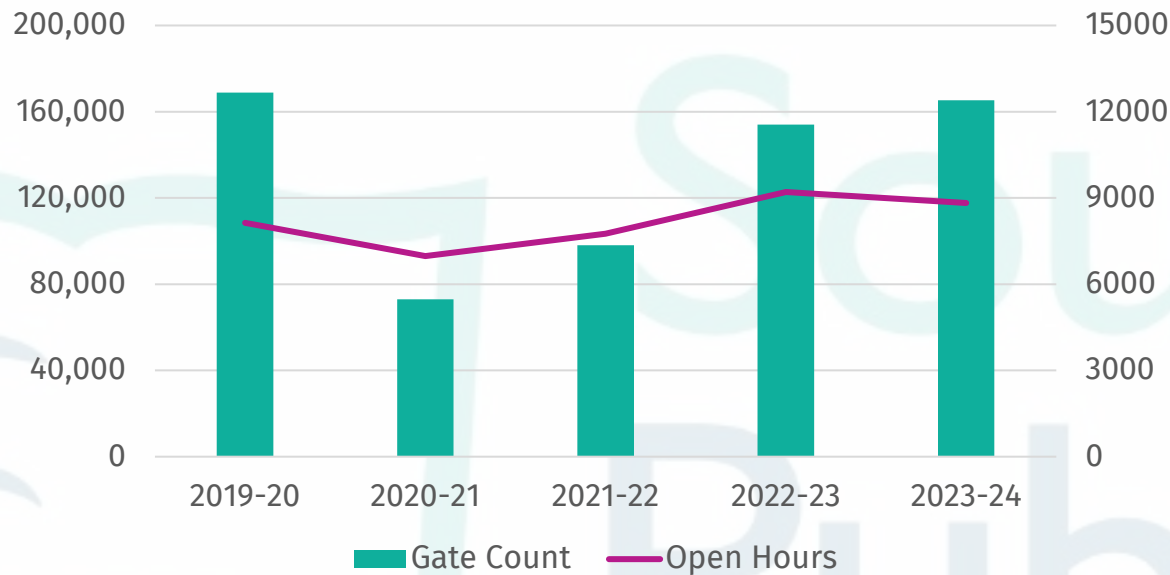
Imagination & Play



Program Attendance (5-year trend)



Study & Work Space



- With the rise of remote work, many rely on the library as a neutral “third place”
- Safe, weather-controlled space with no cost of entry
- Wifi connections and computer terminal use address the digital divide

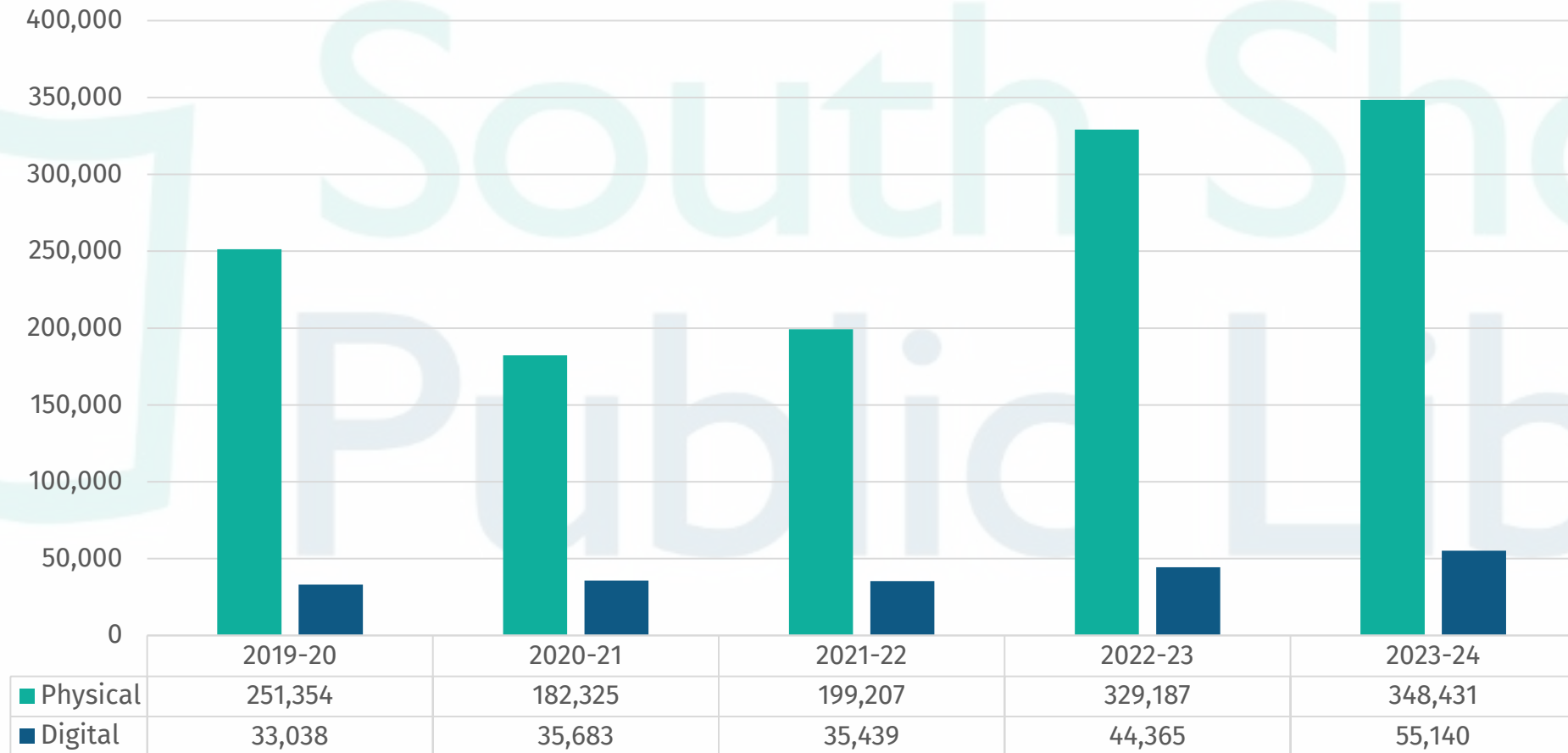


Same Page

- Same Page launched in January 2022
- Consortia catalogue of 8 regional NS library systems
- 1,000,000+ items to borrow
- Increase of nearly **13x** more material shipping between regions
 - Pre-Same Page, 37,210 outgoing items passed between the regions (5-year average, 2015-2020)
 - In 2023, this reached more than *half a million items* (500,729) an increase of 1245% in just three years

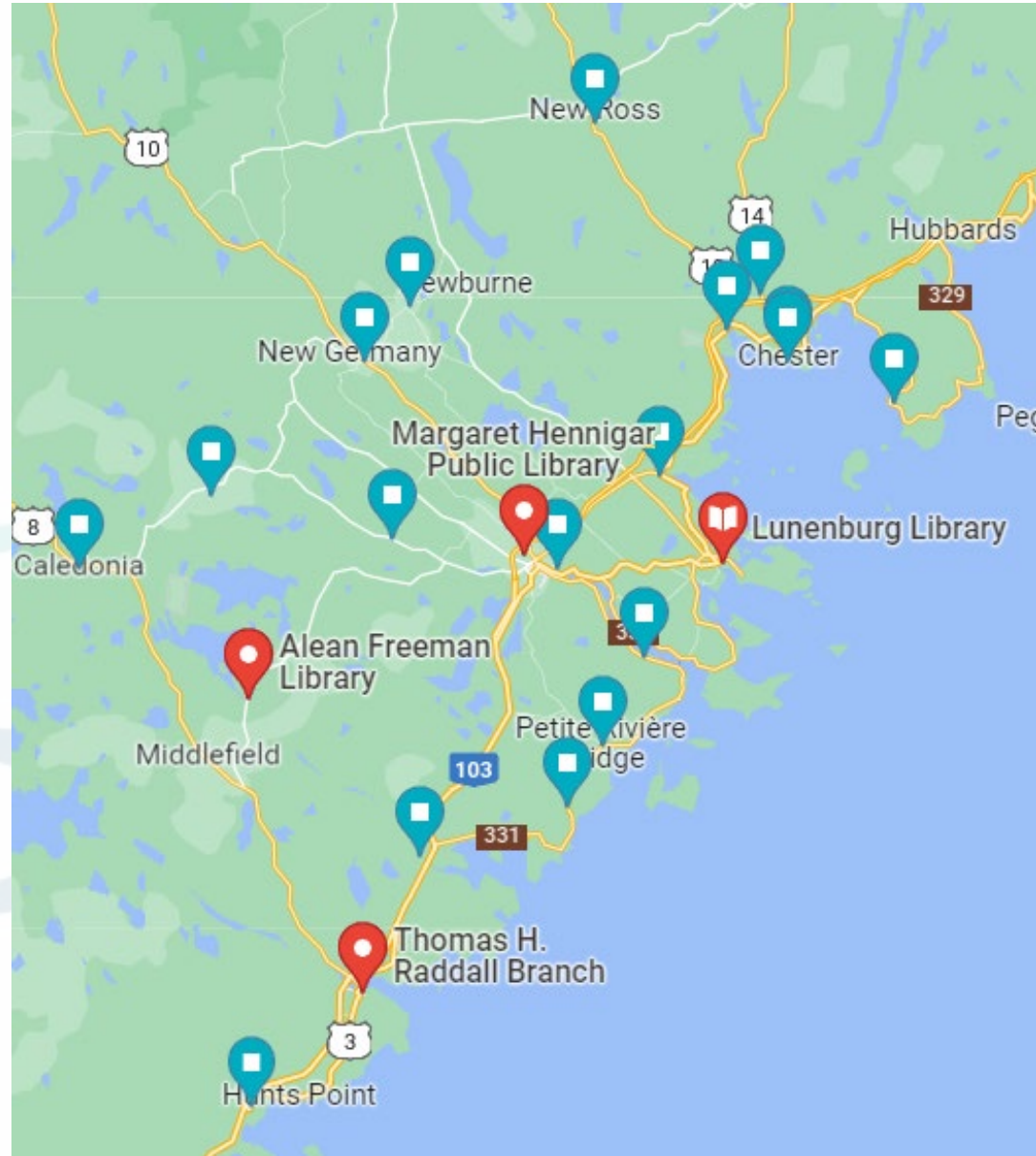


Physical & Digital Borrowing (5-year trend)



Bookmobile

- New bookmobile launched 2021
- 8 weekly stops and 10 tri-weekly stops
- In-person visits and circulation remain high, as does public sentiment
- Operational vehicle costs are expensive, yet lower than operating a similar number of brick-and-mortar locations



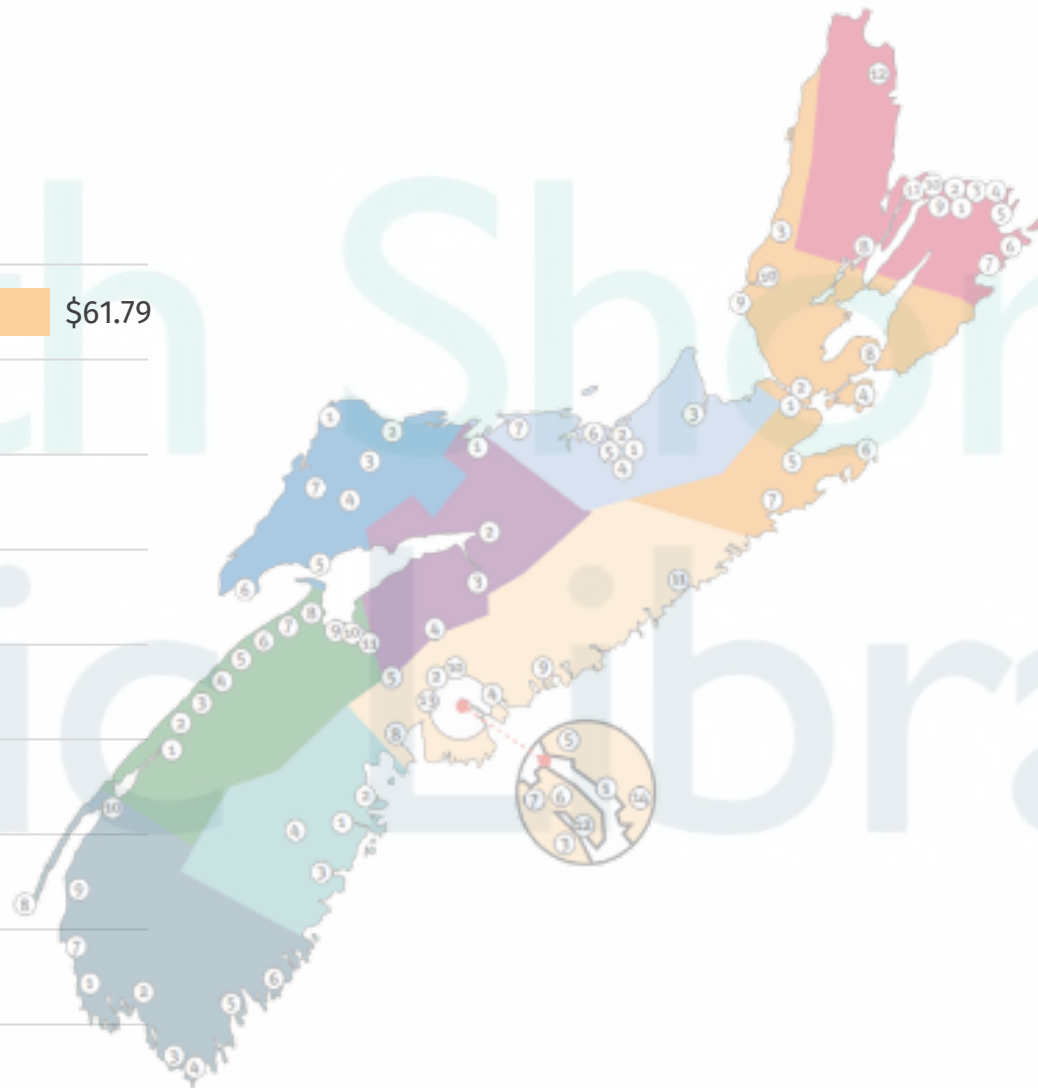
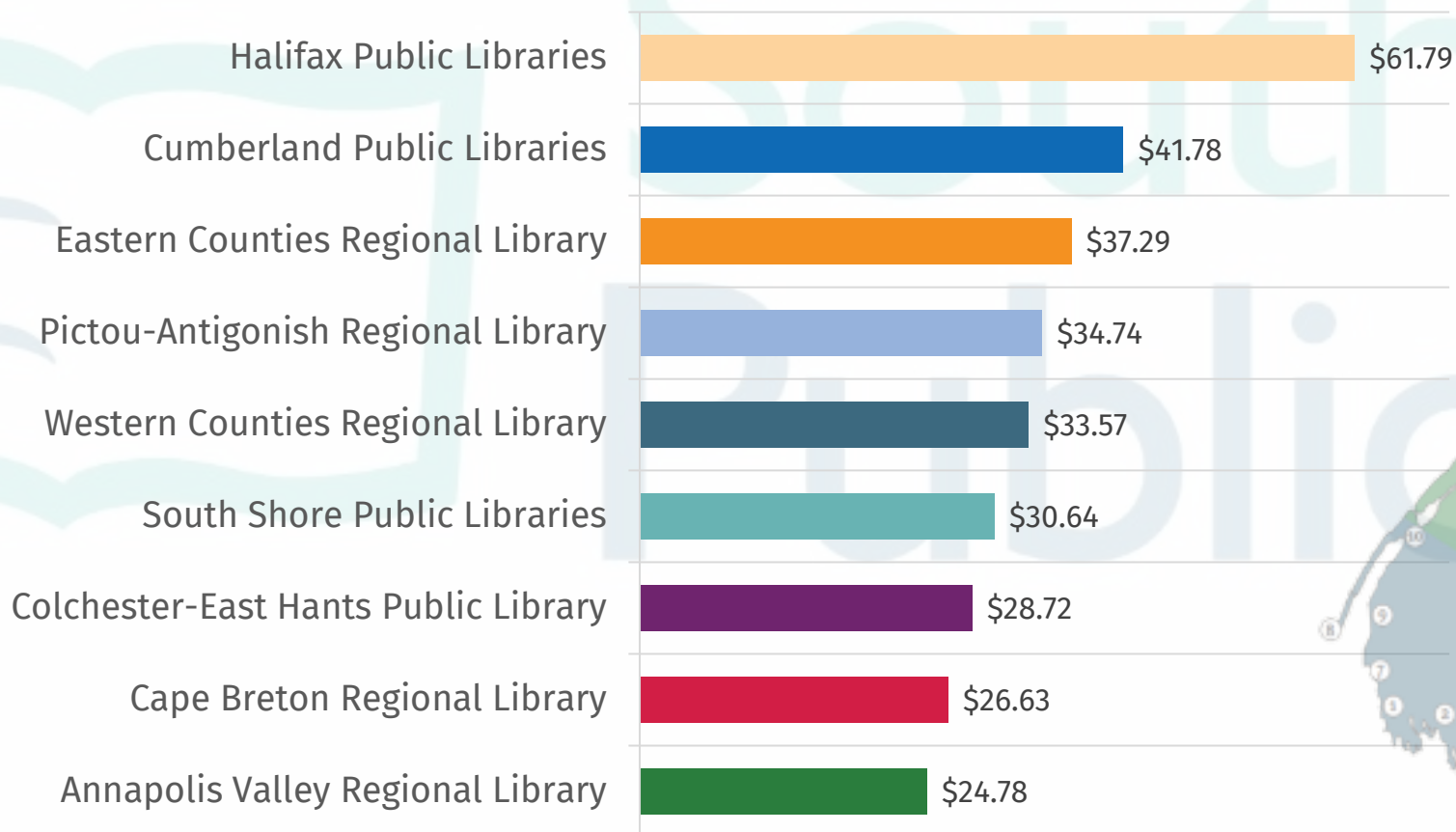
COVID-19 Rapid Test Distribution

- Over 2 million test kits distributed
- Vaccine appointment, Maple virtual health care & app assistance
- ALA award-winning *Caring Calls*

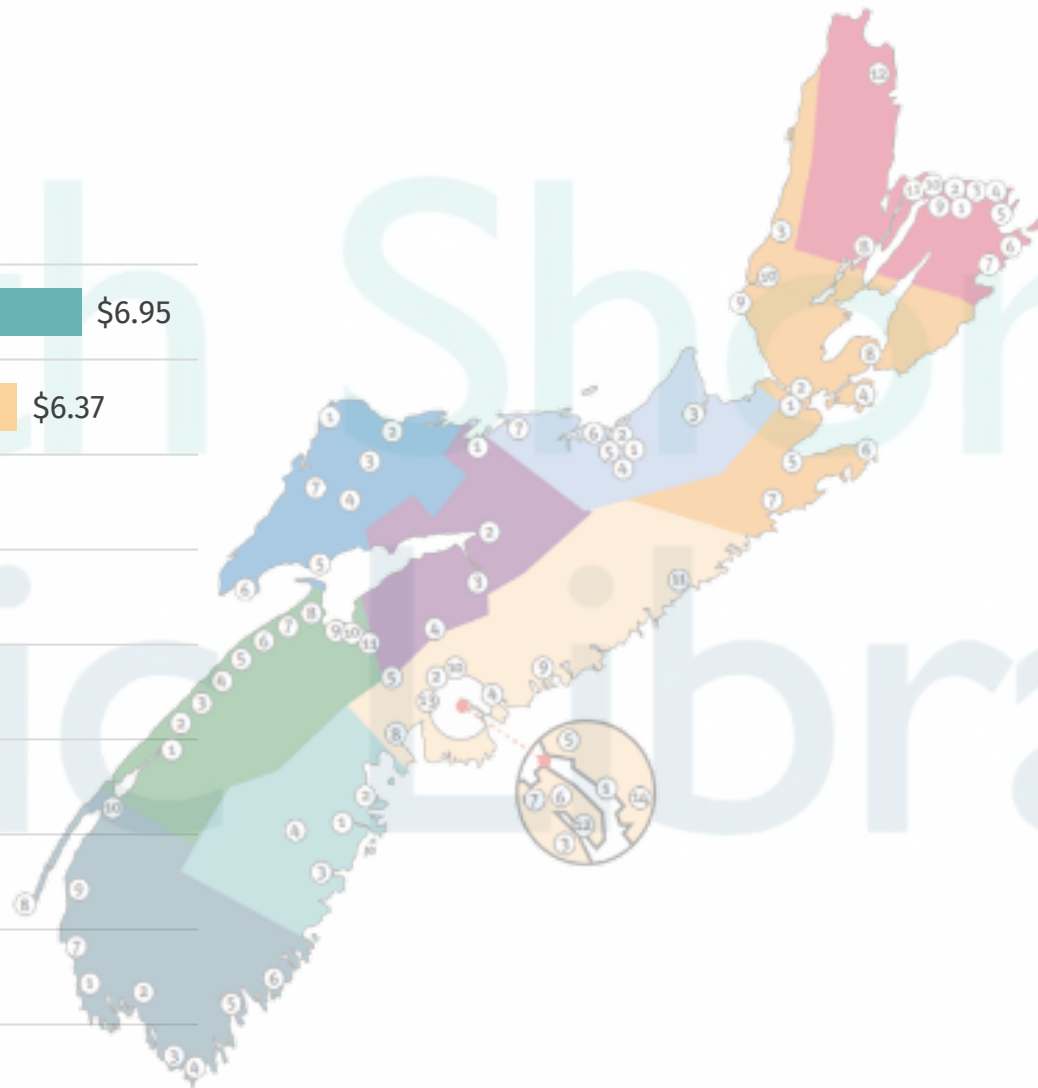
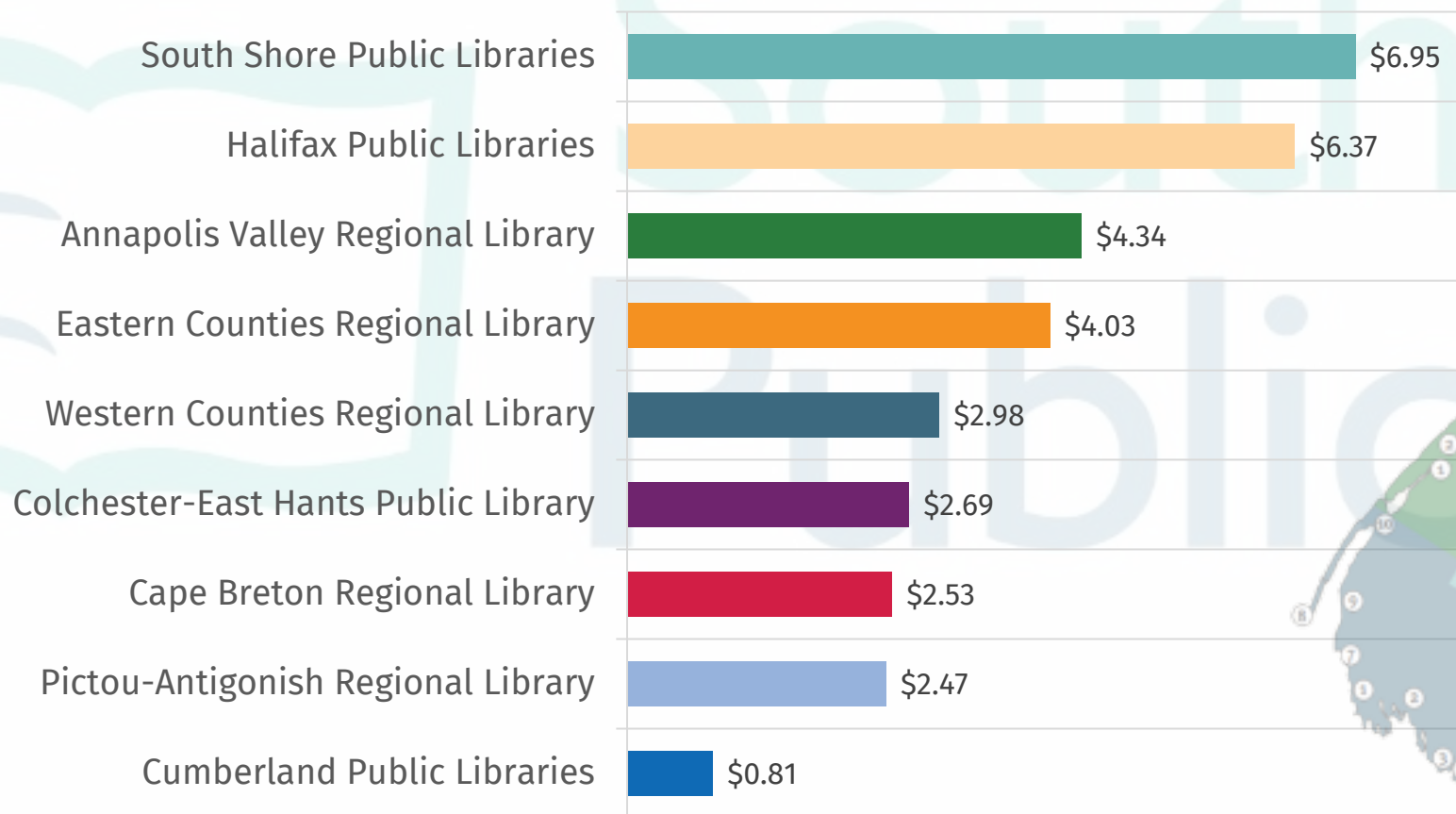


Library Expenditure

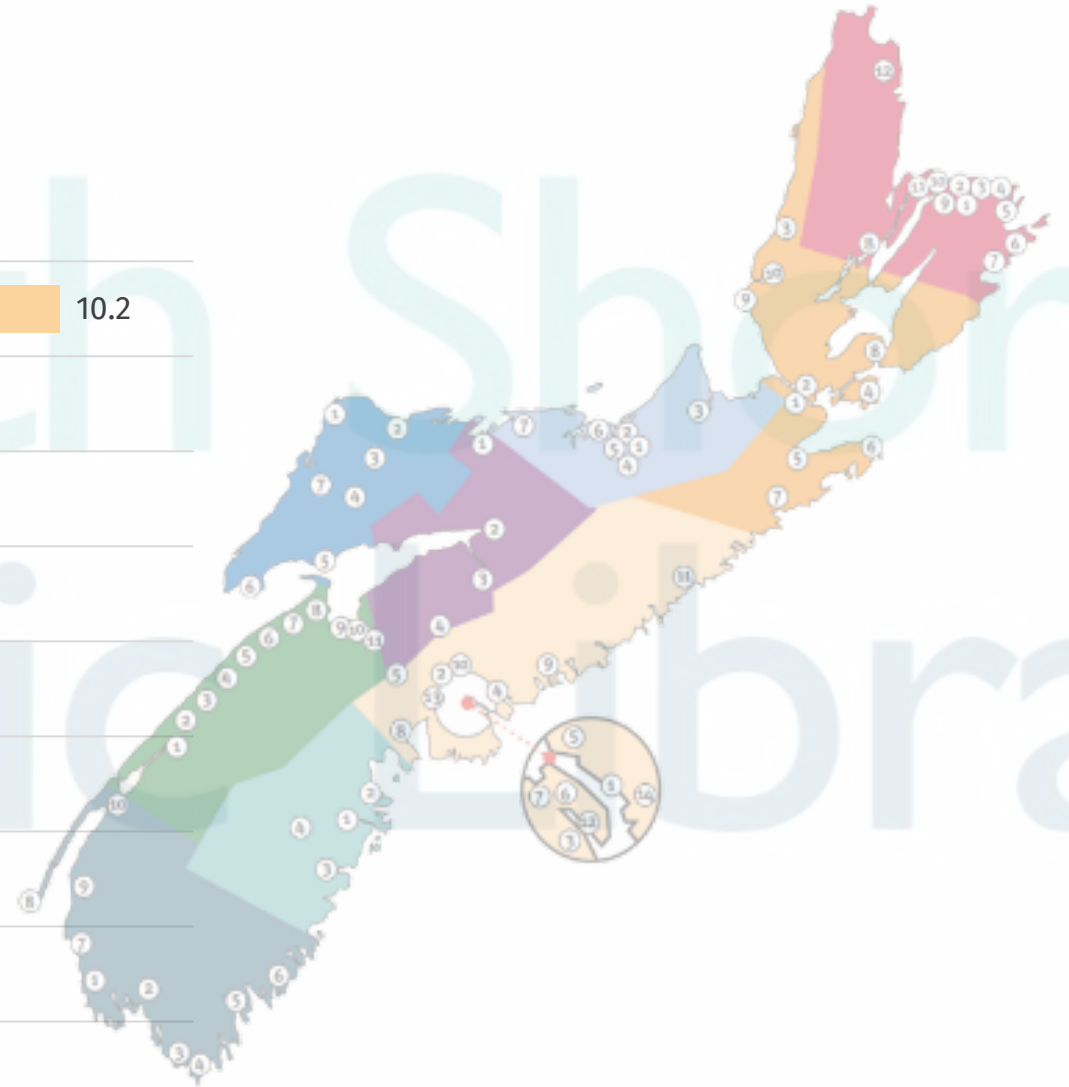
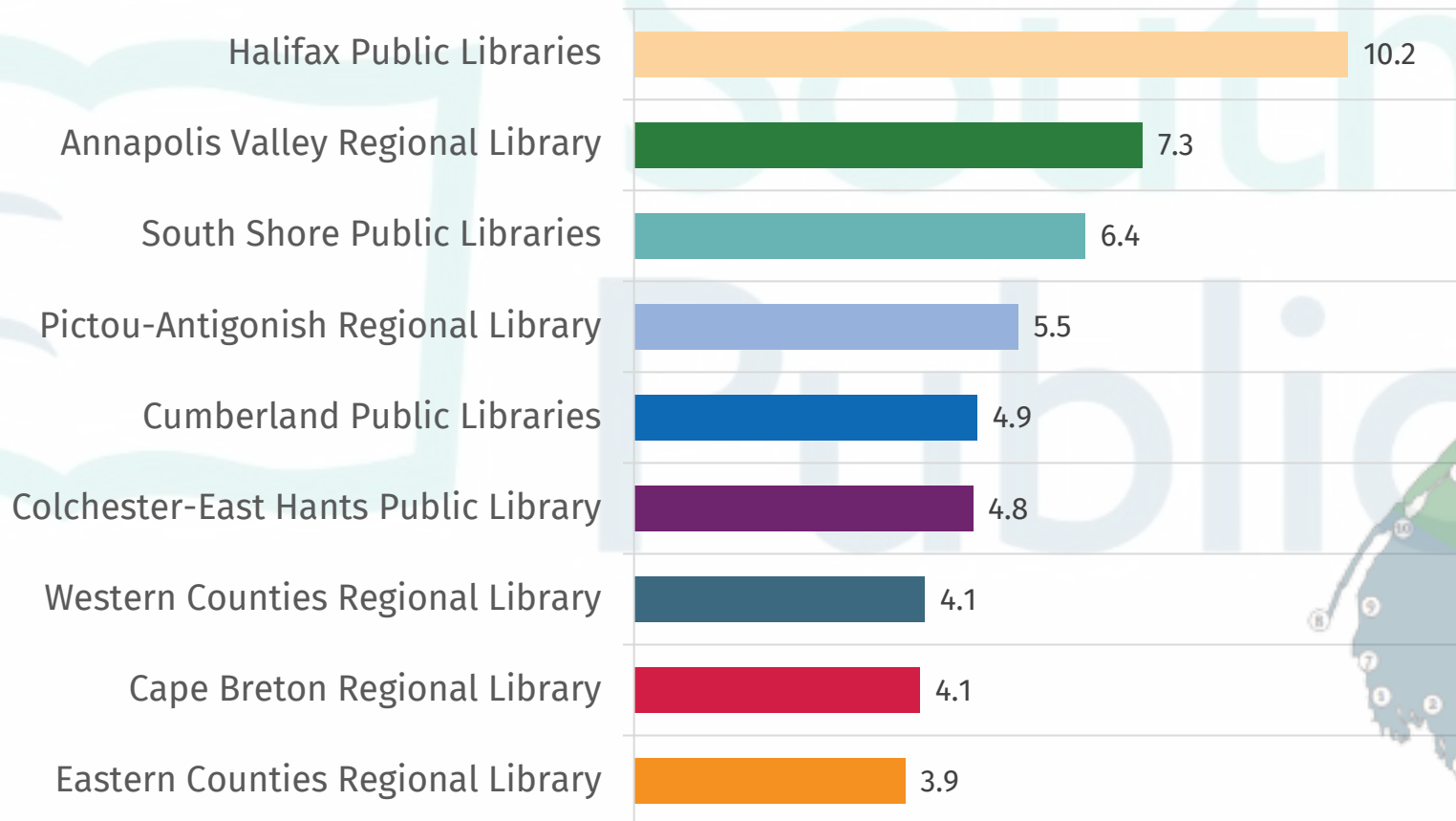
Per Capita Expenditure (2023-2024)



Collection Spending per Capita (2023-2024)



Annual Borrowing per Capita (2023-2024)



2024 Highlights

Food Literacy

- Hands-on cooking demonstrations
- No registration fees:
 - Removes barriers
 - Provides free food
- Sharing Indigenous traditions and culture



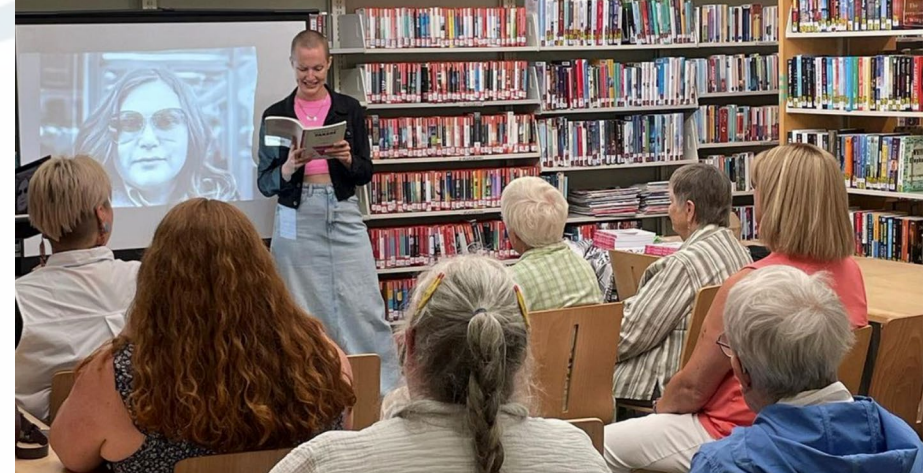
Active, Healthy Living

- Test drive an e-bike or snowshoes
- Get active, get outdoors
- Learn new skills, build community



Pride Programming

- Our biggest year yet!
- SSPL Bookmobile in Pride Parade
- *Reading with Royalty* at 3 branches, including the first ever in Queens County
- Music with Mandy, Drag Q&A, Rebecca Rose author reading



Truth & Reconciliation

- Our T&R event on September 28 had more than 80 in attendance
- We unveiled our new Pjila'si welcome signs by local Mi'qmaq artist Jessica Jerome, featuring traditional place names of our two counties
- We showed the short film *Makit's Doll* and led children in making rag dolls
- Shared on our social media by a parent:

"Thank you for this, it was so well done! I keep hearing horror stories and learning so much about how my culture felt so entitled that they took children from their families so they could be basically brainwashed and changed! We've been talking a lot about truth and reconciliation day at home and my daughter has learned some things about it in her pre-primary class. Tonight my almost 4 year old took the doll she made to bed. She told me "the lady in the movie went to a school like Phylis where they cut her hair and took her orange shirt. The lady in the movie was sad because they took away her doll. She made one to play with and hid it so they didn't take it away from her. I am going to keep my doll safe." Your presentation certainly made an impression on my little girl!"



Lunenburg Lit Fest

- 9th annual festival, Nov 7-9, 2024
- Brings international bestselling and local authors together
- Intimate setting enables meaningful audience engagement



What's Next for SSPL

Library Funding Formula

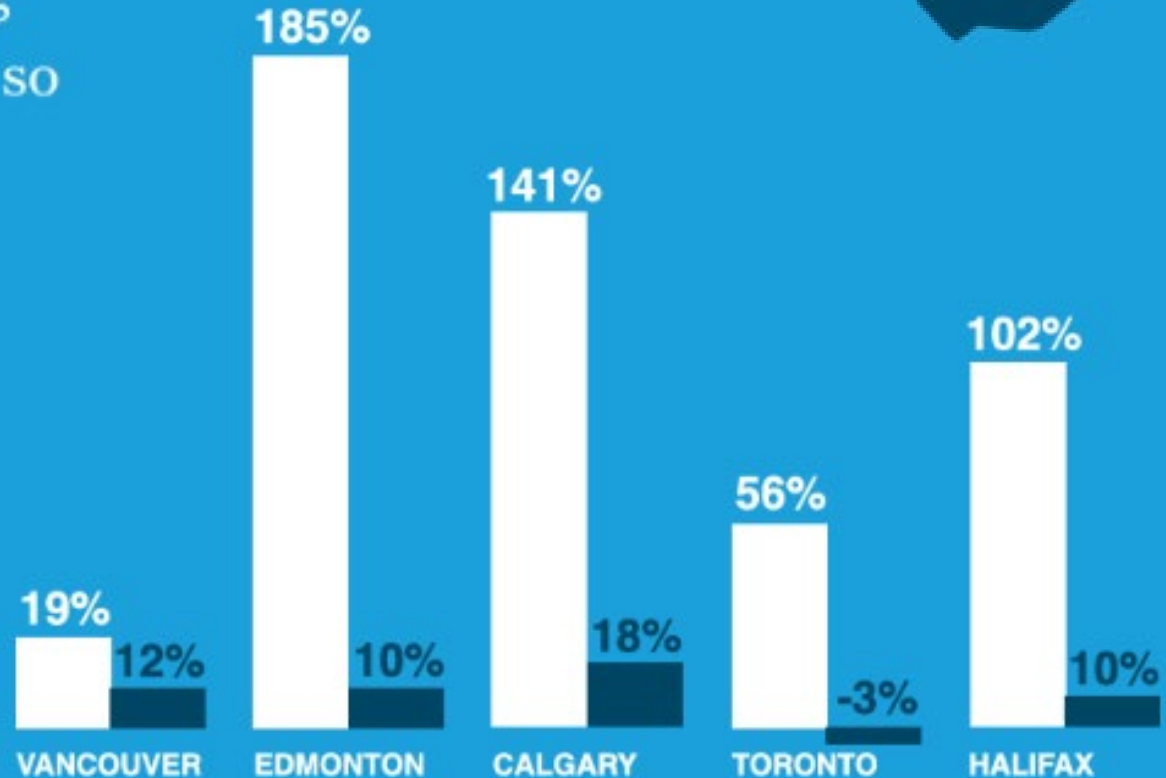
- Governed by the Nova Scotia *Libraries Act. R.S., c. 254, s.1.*
- There was no funding formula in place for 17 years with small and sporadic increases from 2003 to 2009. For ten years, between 2010 and 2021, there were no increases
- Public libraries continue to evolve and expand – physical material borrowing continues to grow, yet the public also turns to libraries for tech help, free programs, health & social services
- Rising inflation, cost-of-living, and operational costs result in challenges maintaining core services, let alone growth
- Library Funding Review Committee recommendations currently before provincial government

The funding gap between the growing number of services being provided and the resources to do so is staggering and growing.



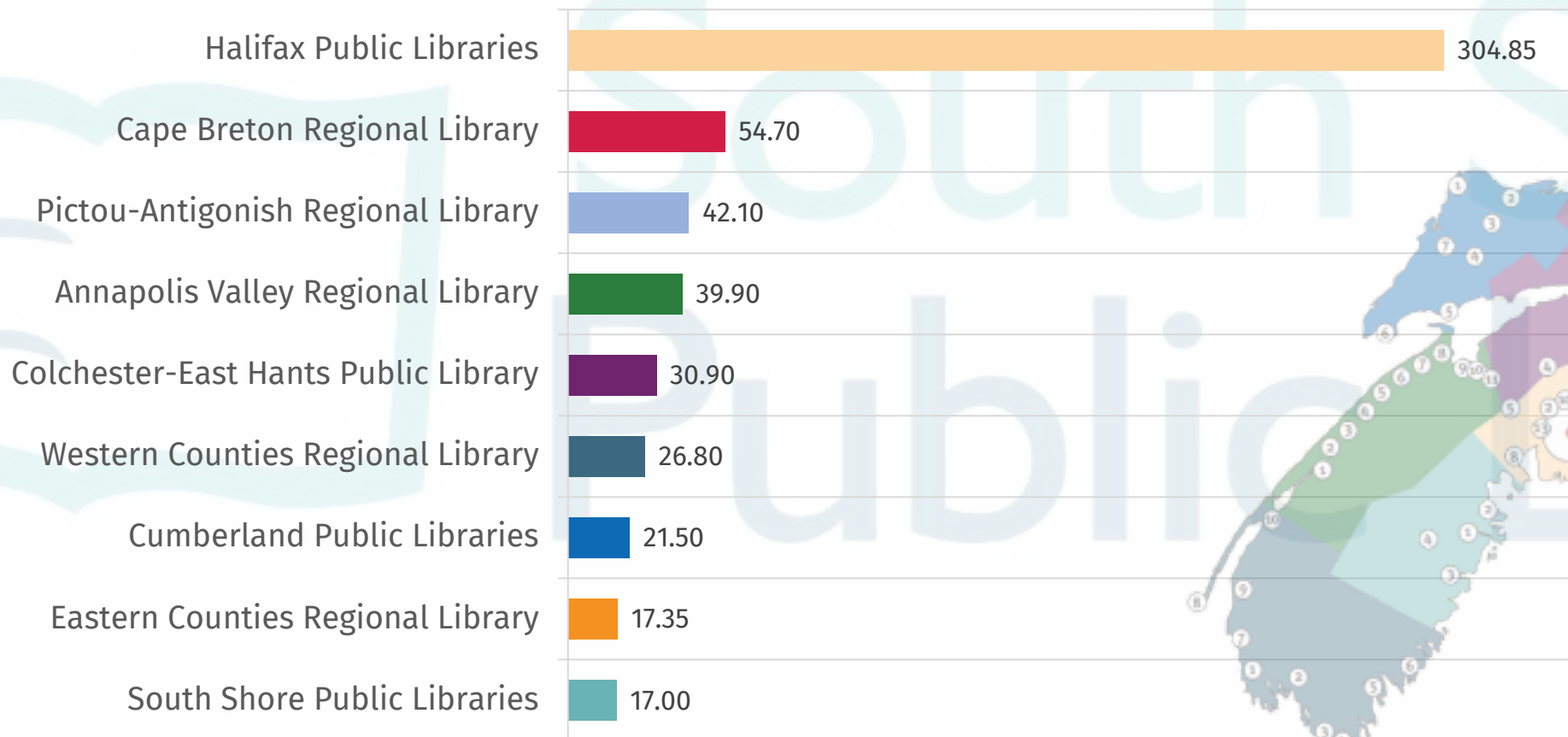
Percentage change in number of library programs and funding 2010-2019

DEMAND SUPPORT

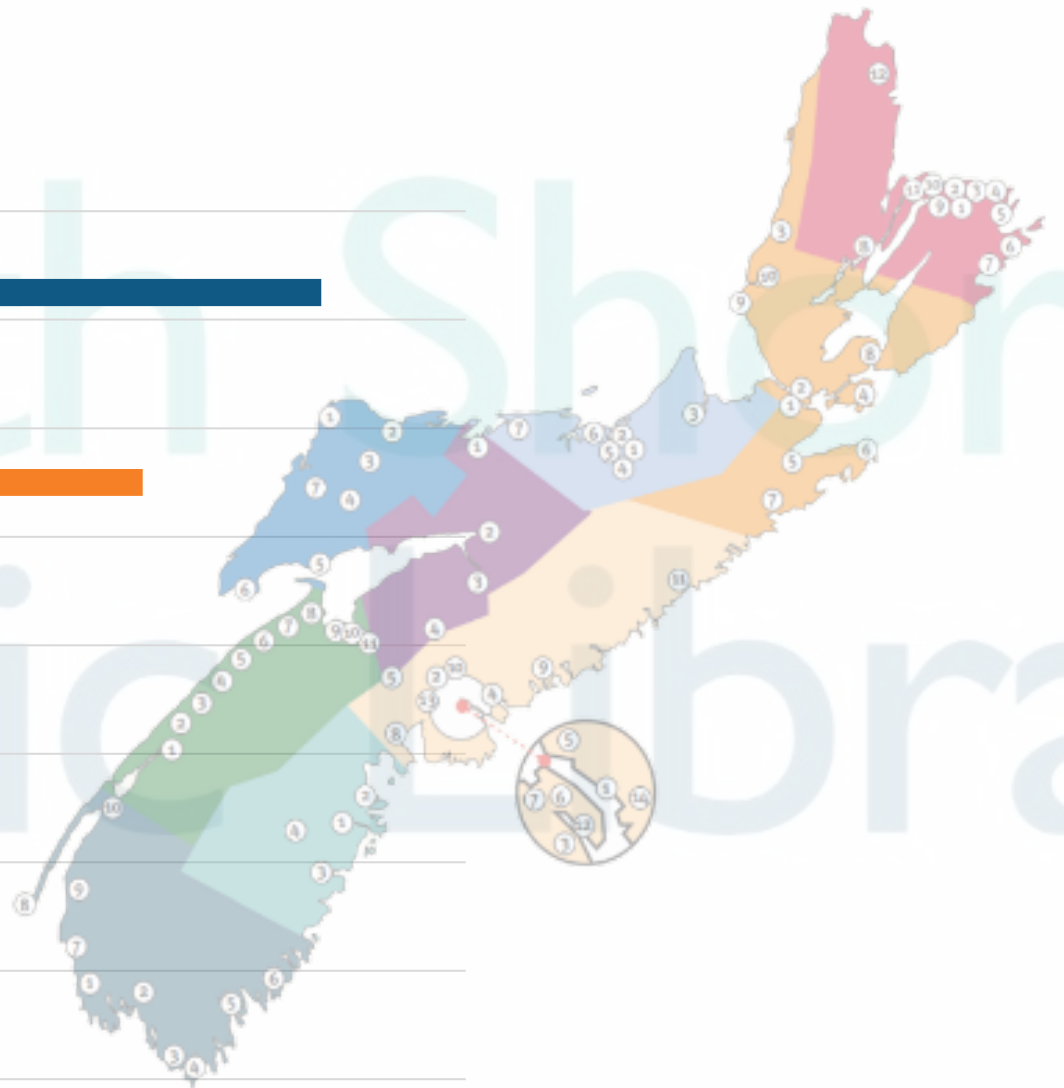
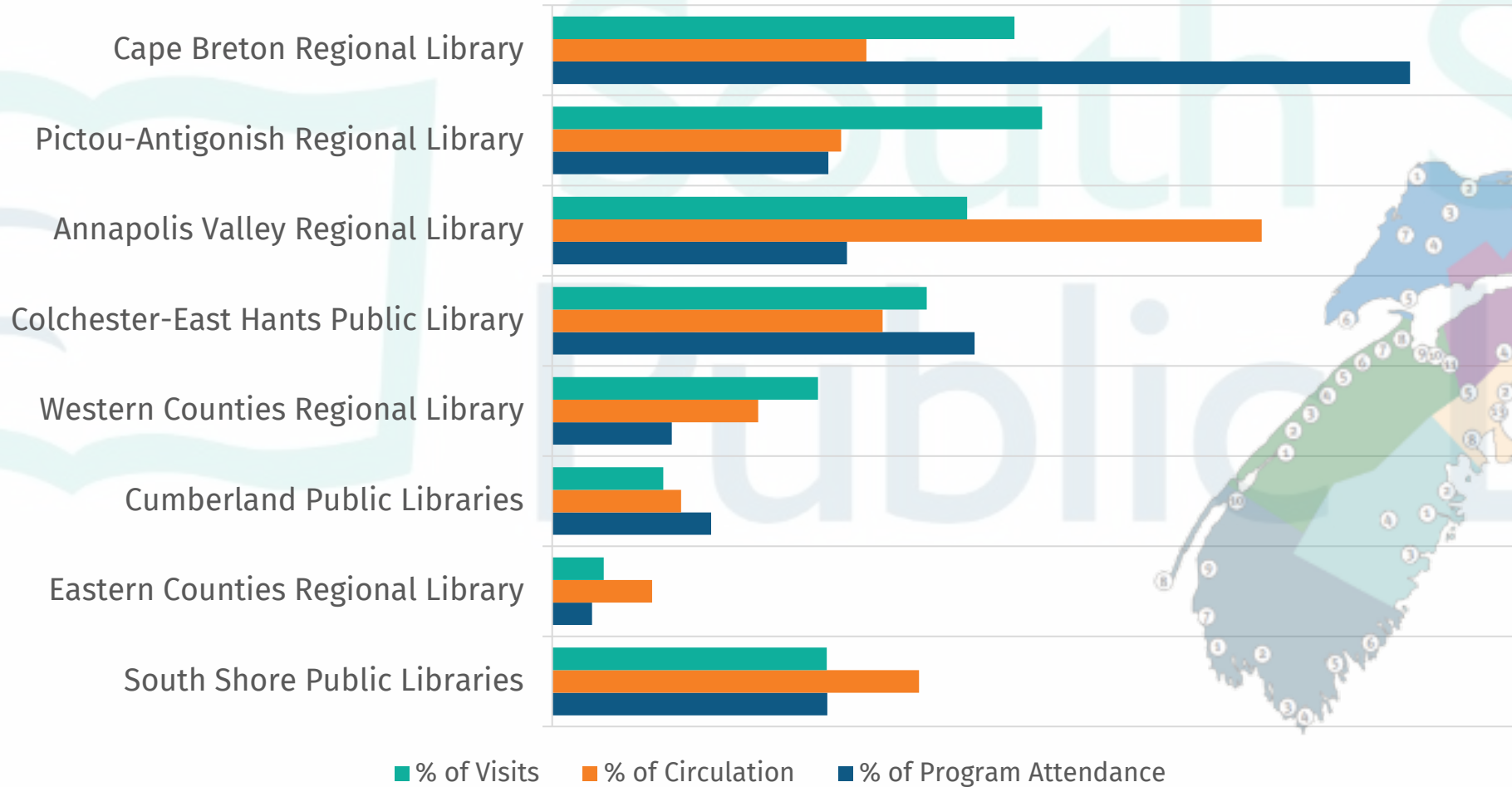


Source: *Overdue: The Case for Canada's Public Libraries* (2023). Canadian Urban Institute
https://canurb.org/wp-content/uploads/CUI_Overdue_report_10.04.23.pdf

Total Staff (FTE)

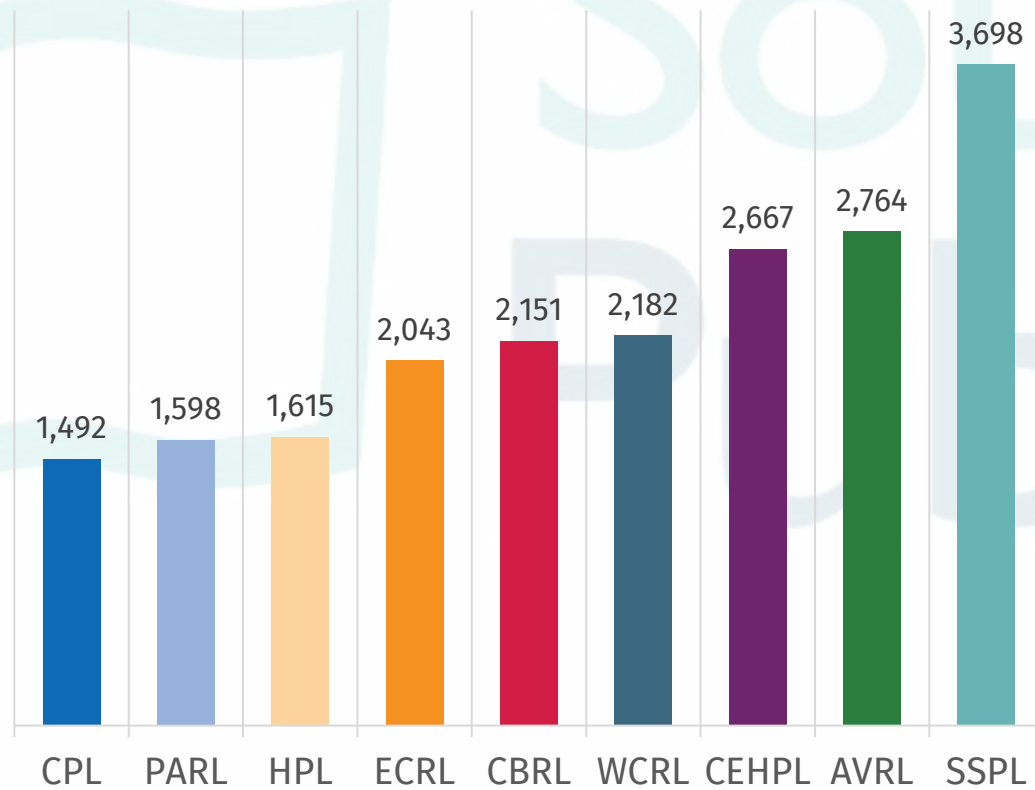


Key Performance Indicators

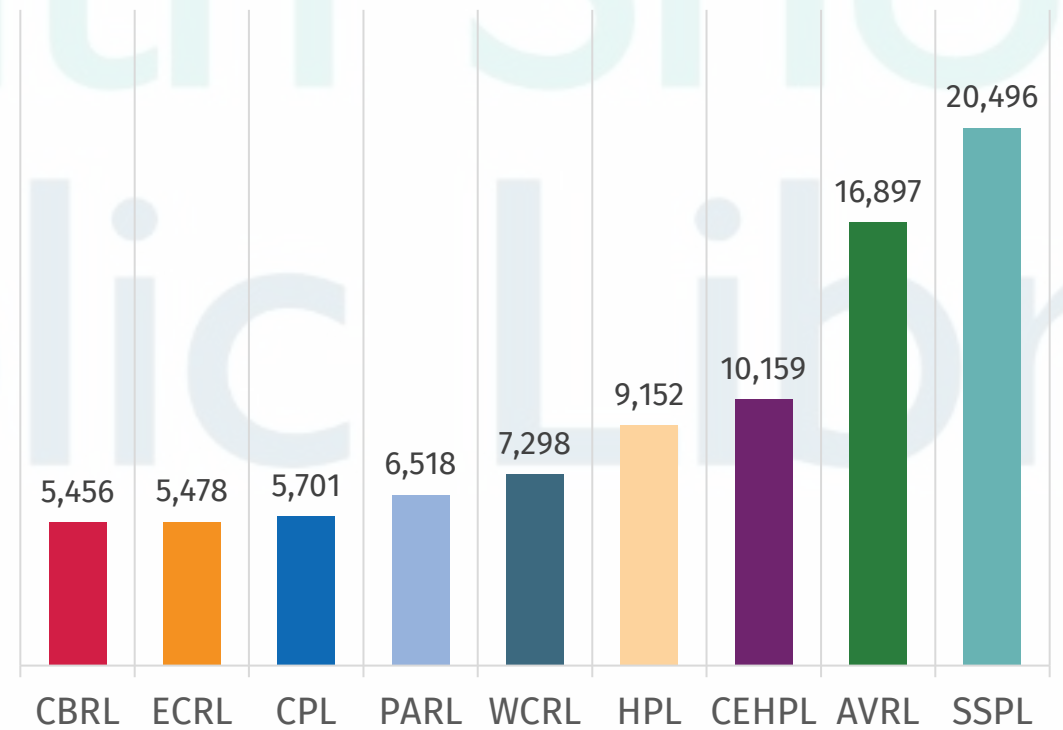


Staff Ratios

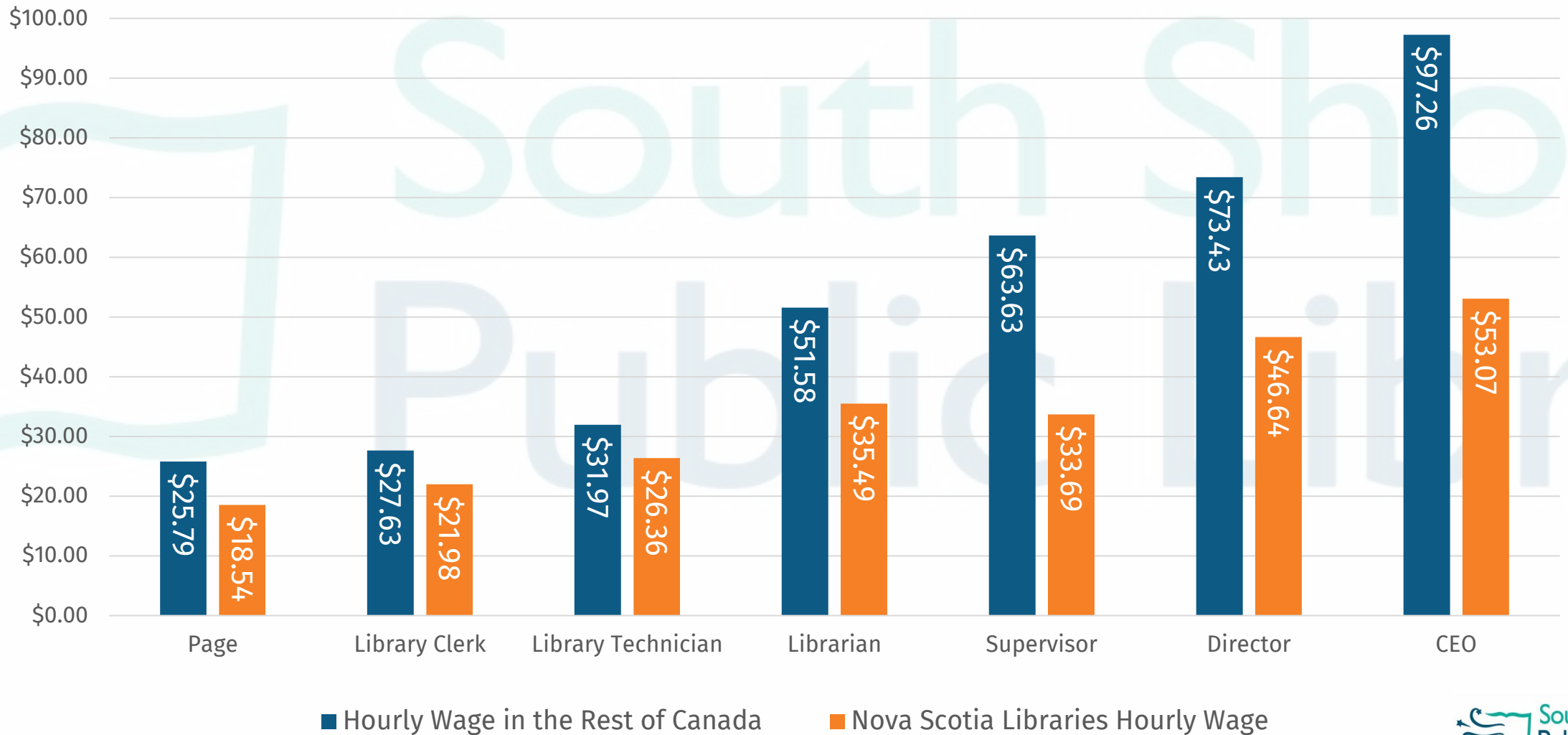
Population served per staff



Items checked out per staff (2023-2024)



Library Staff Salary Benchmarking



Public & Academic Market Comparators

Position	Location	Hourly	SSPL Comparator	Hourly	%
Clerk	Service NS	\$26.19	Clerk	\$21.47	22%
Technician	NSCC	\$26.61	Technician	\$23.45	13%
Water Resource Operator	Town of Lunenburg	\$31.06	Technician	\$23.45	33%
Facility Coordinator	MODL	\$40.90	Coordinator	\$25.10	63%
Teacher	Nova Scotia	\$46.09	Librarian	\$34.33	34%
Manager	Province of NS	\$62.16	Manager	\$42.43	47%
Supervisor	Academic libraries	\$76.58	Supervisor	\$25.10	205%
Director	Academic libraries	\$93.57	Manager	\$42.43	121%

Summary

- South Shore Public Libraries continue to serve as the heart of our communities, celebrating Reading, Discovery, Learning, and Sharing
- Our level of public trust is very high
- Our circulation, in-person visits, and program attendance continue to rise year-over-year
- Every \$1 invested in public libraries translates to \$6 in health, wellness, economic, and social capital
- The public expects our services to grow, with requests for expanded hours, more physical space, updated technology
- More staff would mean more technology help, more programs, more health & social supports
- Our staff wages lag the market and our turnover is high, as staff can “no longer afford” to work for the library
- The NS Library Funding formula is currently before government





Tim McAuley

902 634 8836

PO Box 1480

Lunenburg NS, B0J 2C0

Mayor Jamie Myra

119 Cumberland Street, PO Box 129

Lunenburg, Nova Scotia, Canada

B0J 2C0

January 27, 2025

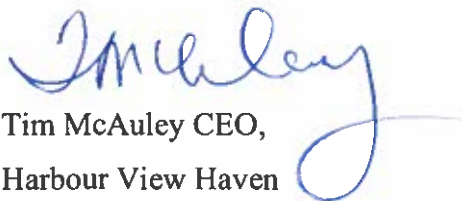
Dear Members of Lunenburg Town Council,

Following the retirement of Virginia Uhlman from the Board of Directors at Harbour View Haven, we recently advertised for 'expressions of interest' for a vacant position on the BoD.

From the response, the Board of Directors would like to recommend and request approval for the appointment of Dale Kelly. Mr. Kelly is a retired CEO from the private sector living in First Peninsula with an extensive background in leadership. Mr. Kelly has been vetted by the Harbour View Haven Board of Directors.

On behalf of the Board of Harbour View Haven, I am requesting Lunenburg Town Council's approval of Dale Kelly to the Harbour View Haven Board of Directors. Thank you.

Respectfully,



Tim McAuley CEO,
Harbour View Haven

From: [martha keddy](#)
To: [Hilary Grant](#); [Kayla Byrne](#); [Jamie Myra](#); [Rachel Bailey](#); [Renea Babineau](#); [Debbie Dauphinee](#); [Gale Fullerton](#); [Alex Greek](#); [Alison Strachan](#)
Subject: Downtown Parking Issues
Date: January 30, 2025 4:29:09 PM

CAUTION: THIS IS AN EXTERNAL MAIL

The downtown area will be a mess if on street parking is permitted for those new builds . 10 spaces is a joke .

I watched an ambulance driver have to park nearly half a block away from the house that he was attending , running with his life saving equipment to a lady in need , seconds count, she died .

He had to move the ambulance to the nearest space which was halfway up the hill beside the Romkey house because it was blocking Montague Street. With the parking on both sides, traffic ground to a halt .

There must be a way to push this important parking issue forward or stall on issuing permits to build . Think about that poor lady . What if she was your family ?

Yours sincerely
Martha Langford

Subject: Lunenburg Day Care Centre
From: Community Development
Date: February 5, 2025



Recommendation

That Council commits to entering into a long-term lease agreement with the Lunenburg Daycare Centre on land parcel [insert land option(s)], for the purpose of developing the site into a new daycare centre, subject to final lease negotiations and necessary approvals.

Alternatives

- **Reconsideration of previously identified sites:** That Council declines to proceed with leasing the Starr Street or Blue Building sites and instead directs staff to bring back the seven town-owned sites identified at the January 14, 2025, meeting for Council's reconsideration, reaffirming its support for the establishment of a new daycare facility.
- **Defer a decision:** That Council defers its decision on a lease agreement to allow for further consideration of the Starr Street and Blue Building sites and directs staff to bring forward any additional information that may assist in Council's decision-making.
- **Support without municipal land contribution:** That Council declines to provide municipal land but supports the Lunenburg Daycare Centre's expansion by exploring other possibilities for municipal support.

Background

The Lunenburg Daycare Centre (LDCC) has requested a "Confirmation of Ownership/leasehold or partnership agreement/commitment" from the Town of Lunenburg (Town) for a municipally owned piece of land to meet the requirements of their Provincial funding program, secure their conditionally approved funding for the proposed project, and continue project work and construction.

The LDCC has been conditionally awarded up to 3.4 million dollars from the Provincial government's Department of Education and Early Childhood Development's Early Learning and Child Care Major Infrastructure Program. This projected contribution is commensurate with the number of projected new resulting childcare spaces for children between the ages of 0 and 5, and a minimum commitment period of 25 years, toward the development of a new Child Care Centre. The program currently requires a construction completion date of March 31, 2026, which aligns with the federal funding provided to the Province via the *Canada-Nova Scotia Canada-Wide Early Learning and Child Care Agreement* in effect until March 31, 2026. This projected funding, along with the anticipated Municipal government's contribution of land and the LDCC's own funds will make up the balance of contributions toward the project's approximately 9 million dollars + HST estimated cost.

At its January 14, 2025, meeting, Town Council passed the following motions:

1. That Council commits to making available a suitable piece of municipal land, subject to further analysis and Council approval.
2. That Council direct staff to hold a public hearing on entering a lease with the Lunenburg Daycare for the Blue Building site (87 Victoria Road) and the land at Starr Street, described as below Hillcrest Cemetery and across from the dog park.

Discussion

The Town of Lunenburg has experienced a significant rise in young families and children under 14. This growth has caused the existing LDCC facility to reach full capacity, with a current waitlist of 232 children. The LDCC, a non-profit organization established in 1973, currently operates at 26 Lincoln Street and provides 113 licensed childcare spaces. The proposed new facility would add up to 96 spaces and meet all Early Learning & Child Care Regulations and the Provincial Government's Access by Design 2030 framework, including in outdoor green play space and accessible features to better serve diverse and vulnerable populations.

General LDCC Building Requirements:

RHAD Architects were hired as design and project management consultants via a publicly advertised competitive Request for Proposals process. Schematic Designs for the building have been rendered, (see Attachment A). The general concept includes: a one-storey (30-foot peak height) fully accessible structure, with an expected gross floor area of approximately 16 500 ft². The building is planned to be panelized construction. This involves fabricating components off-site then delivering them to the job site for assembly, which should benefit the project timeline. In total, based on initial renderings, the LDCC would be looking to lease approximately 1 acre of land.

Service Requirements for LDCC

Based on initial design specifications, the incoming electrical service will run from a Utility Rise Pole underground to a pad mount transformer. Currently, the projected lead time needed to acquire a transformer such as this is expected at 6 months or more. From there, the service would continue underground from the pad mounted transformer, at **208/120V, 3 phase, 4 wire**, to the **800A service** entrance board (SEB) located in the main electrical room. The Electric Utility Regulations shall be used to assign responsibilities for the installations and costs.

Staff are yet to receive details relating to any domestic water, sprinkler or sewer services and these are expected to be provided in due course as LDCC's design progresses for permitting. The Town's Installation/Repairs to Sewer, Storm Sewer and Water Laterals Policy and the Water Utility Regulations shall be used to assign responsibilities for the installations and costs.

Site Location Profiles:

87 Victoria Road (Blue Building) Location- (see Attachment B)

Although this location was not initially specified independently as an option, early discussions between the Town and LDCC focused primarily on the general Recreation Complex area as a preferred site option for the new LDCC given that the area is already municipally serviced and includes a large

existing parking lot. For these reasons, it was thought this could potentially result in significant efficiencies benefiting project timelines and reducing construction costs as compared with other areas of town. Additionally, the area would provide benefits given its proximity to recreation, educational facilities and existing active transportation routes and could provide associated synergistic opportunities. There are no known environmental contamination concerns with this location, however, as per the Town's Property Lease Procedural Policy all Town property is leased on an "as is - where is" basis with no environmental or other representations to the tenant or others.

Water and Wastewater Servicing Considerations:

- The land parcel is currently home to the 'Blue Building', the majority of which is unheated and uninsulated warehouse space, timber frame structure on an engineered concrete slab. Although the general building is currently serviced with Electrical, Water and Wastewater connections, which accommodate the needs of lighting and the areas currently home to the Sea Cadets and the Public Works Carpentry Workshop, the requirements of a Daycare facility will likely necessitate new connections with increased capacity. Staff have identified there may be some challenges that would require further investigation by the Daycare's Project Team with regards to the Wastewater connection given the relatively flat terrain and limited slope in the low-lying area. However, it is possible that potential flood mitigation measures requiring a raised floor height may at least partially mitigate this issue. The existing wastewater main is located on the other side of Victoria Road and previous work has shown existing bedrock underneath the roadway that would likely create additional costs to the servicing of a new building.

Electrical Considerations:

- The site would require an electrical 'scoping' assessment scheduled through the Town's electric utility and carried out by the Town's service provider NSP. The scoping process would determine more precise timelines and feasibility. Expected timeline for acquisition of the required transformer needed is estimated at minimum 6 months. Of note, this location is fed by what is known as the Bridgewater circuit.

-

Flood Risks and Mitigation Requirements:

- This section of Victoria Road has significant flood risks. The site and surrounding area has been known to flood in heavy rain events and is noted as a flood risk area on the Town's Flood Risk Area Map (see Attachment C) in its Land Use Bylaw. The Town's 2015 Municipal Climate Change Action Plan also noted the flooding of the Victoria Road area as a top concern in terms of climate change impacts. The area was described by different stakeholders as being flooded between "once every two years" to "three to four times a year", reportedly due to a combination of high tide, storm sewer backup, and possibly frozen ground.

- The Town's Land Use Bylaw describes Flood Risk Area Development standards which require an acknowledgement and recognition of the risks and responsibility for damages in the event of a flood and confirming that the finished floor elevation of habitable areas is no lower than 3.2 metres CGVD2013 (Coastal Mean Sea Level for North America)
- To meet these mitigation standards, there are likely added direct and indirect costs for the project proponent such as materials to raise the building site and increased insurance premiums for the LDCC with the utilization of this site, etc.

Parking Considerations:

- If this site is chosen, there may be opportunity to include some limited parking spots within the footprint of the land parcel. However, due to space limitations, the new Centre would look to utilize spaces in the adjacent Recreation Complex Parking Lot, primarily for staff and for parents at pick-up and drop-off times. The number of total spaces required is estimated at 40.
- The Town's recently finalized Traffic and Parking Study recommended a reconfiguration of the parking spaces within the Recreation Complex parking lot (see Attachment D). If this work is done, the number of parking spaces would be estimated to increase by about 40. As a singular change in the existing parking lot, the projected minimum cost to repaint the lot lines is approximately \$10 000.

Planning Considerations

- The Town would look to delineate an area for lease and/or subdivide the existing lot to separate the building lot from the existing driveway area between 87 and 103 Victoria.
- A primary amendment is needed to rezone to a form zone with less restrictions than the Main Street form zone which currently applies. Form zones in the LUB tend to not have significant impacts on the architectural design of structures and are largely focussed on setbacks from property lines and building heights. However, the Main Street form zone is different:
 - anticipates all new buildings will be at least 3 stories in height (maximum of 6) with a mixture of ground floor commercial spaces with residential and other uses on the remainder of the floors.
 - Restrictive setbacks (both minimum and maximum) require setbacks that may result in a lot that is too small for the proposed building. (LUB Section 7.5.1)
 - The Main Entrance to the daycare must be from Victoria Road. (LUB Section 7.7.1)
 - The Main floor must be 4m (13.2ft) in height, have a streetwall height of at least 10m (33ft) (three stories), and must have a minimum building height of 10m (33ft.) (LUB Section 7.7.2)
 - It must have a minimum streetwall width of 40 metres (132 ft), or 60 % of the lot frontage on Victoria Road, whichever is less. (LUB Section 7.7.3)

- Additionally, an MPS amendment would be required to redesignate the lands to ‘Downtown’ to allow for the rezoning,
- Procedurally, a planning amendment would require, at minimum, a Public Participation Meeting (Planning Advisory Committee meeting), Council 1st reading, Public Hearing, Council 2nd reading.
- A demolition permit would also be required to remove the existing structure.
- Timeline: Under normal conditions a timeline of approximately 6 months is reasonable, although this could potentially be done faster if identified as a priority.

Heritage Considerations

- Staff do not believe there are notable negative heritage implications with this site.

Operational and Financial Impacts of Public Works Relocating

- The Blue Building currently houses Public Works and Recreation material that, combined, requires approximately 125 feet by 50 feet of cold storage. In addition, a separate enclosed area of the structure houses a well-equipped, heated, carpentry workshop.
- The construction of the Salt shed on Starr Street approximately 10 years ago can be seen as an appropriate comparable for what would be expected cost-wise for the development of a new alternative building that could provide appropriate cold storage. Given that the space requirements for what’s currently housed in the Blue Building is approximately four times larger than the salt shed, and adjusting for cost increases and inflation, the estimated cost of constructing a new storage building for Public Works on Starr Street is approximately \$1 million. This estimate aligns with studies conducted for similar buildings in neighboring municipalities. In 2023, the Town of Mahone Bay explored building a 5541 square foot garage and storage shed, which was estimated to cost \$1.5 million.
- As an existing alternative site for the carpentry workshop, it is believed that the Old Fire Hall may have sufficient space to accommodate the workshop but would require some upgrades to function with comparable levels of functionality as the current site.
- The building houses the Sea Cadets as tenants.

Starr Street Location (see Attachment B)

The Starr Street site is located within the boundaries of PID 60058351, which is currently a large property that borders on the entire length of Starr Street and portions of Kissing Bridge Road. The specific area identified by Staff as a potential suitable development site for the new LDCC is located on the parcel’s northwest boundaries with frontage on Starr Street and across from the Town’s Wastewater treatment plant. There are no existing structures on that land and the specific area has a gradual increased slope (staff approximate about 12% grade in that area) as you move away from Starr

Street. The area backs onto a wooded area to one side, and the lower portions of the Hillcrest cemetery on the other. The LDCC would be looking for somewhere close to 1 acre in leased property.

There are currently no sidewalks along Starr Street and complementary services such as the Recreation and Educational facilities are significant distances from the site. There may be future Active Transportation opportunities that could take advantage of the adjacent green areas and proximity to trails with potential connectivity to the Lunenburg Academy as was identified in the Town's 2013 Active Transportation Strategic Plan. There are no known environmental contamination concerns with this location, however, as per the Town's Property Lease Procedural Policy All Town property is leased on an "as is - where is" basis with no environmental or other representations to the tenant or others.

Water and Wastewater Servicing Considerations:

- Staff have noted that the existing water and wastewater systems currently have lines that service up to the Wastewater Treatment Plant (from the Lincoln St direction) and there is opportunity to tie-in to the existing infrastructure pending further investigation by the LDCC Project Team.

Electrical Servicing Considerations:

- The site would require an electrical 'scoping' assessment scheduled through the Town's electric utility and carried out by the Town's service provider NSP. The scoping process would determine timelines and feasibility. The acquisition timeline of the transformer required for the project is expected at a minimum of 6 months lead time. Of note, the area has proximity to what is known as the "First Peninsula Circuit" and "Industrial Circuit".

Flood Risks and Mitigation Requirements:

- The site is not within the identified Flood Risk area and therefore, would not be required to meet additional mitigation requirements as per the Land Use Bylaw. However, access routes to the site along Starr Street (from the Kissing Bridge Road direction) and Hwy 332, are located within identified Flood Risk Zones.

Parking Considerations:

- Given that this land is not yet developed, Locating the LDCC at this site would require the development of additional parking area incorporated into the design, primarily for staff and pick-up/drop-offs for parents, required spaces estimated at 40.

Planning Considerations:

- The existing zoning as Institutional Use and Community Form is compatible with a Daycare development and therefore, amendments are not required. The Town could choose to Subdivide a lot or simply delineate a leased area of the existing lot. Timelines to accommodate either approach would be contingent on Town staff processing times.

Heritage Considerations

- This location is located within the World Heritage Site’s (WHS) buffer zone. As a result, and in keeping with the international guidance provided by the World Heritage Centre in conjunction with its Advisory Bodies as it relates to Impact Assessment, in order to ensure that the Outstanding Universal Value (OUV) of the Old Town Lunenburg WHS is protected from negative impacts of development, Staff have undertaken a ‘Screening’ exercise (see Attachment E) to assess what, if any, negative impacts this project could reasonably be seen to have on the WHS OUV. This screening exercise puts the site’s OUV and other heritage values at the centre, takes into consideration the site’s attributes that express the site’s OUV and determines whether the proposed action could be detrimental or compatible with the OUV of the World Heritage property.

Staff have determined that there is no reasonable expectation of negative consequences to the OUV of the WHS or other heritage values in the event this project proceeds on this site.

‘At-a-glance’ Site Comparison Table:

Site	Potential Benefits	Potential Challenges
87 Victoria Rd – ‘Blue Building’	<ul style="list-style-type: none"> • Existing water and wastewater servicing available, though some work would be needed, there are some expected challenges with wastewater servicing given the low-lying area and rocky soil conditions • there is availability of parking at the Rec. Complex – however, capacity to meet needs with current configuration is not known • proximity to school and Rec. facilities • central, walkable location • would have minimal direct impact to delivery of recreation services 	<ul style="list-style-type: none"> • would displace tenants: Sea Cadets • currently serves as storage space for the Town’s Public Works Dept. and Recreation facilities: this would require the relocation of equipment to alternative and less convenient site and potentially require a new storage structure to accommodate (cost estimate shows it would likely require between 1 and 2 million dollars to implement a permanent alternative solution of comparable quality) • would require building demolition before construction can start and associated costs; • would limit future use of valuable land adjacent to the arena

		<ul style="list-style-type: none"> • would require Planning amendments that require Provincial approval • located in identified flood risk area, which experiences significant flooding in heavy rain events
<p>Starr Street <i>This includes land area below Hillcrest cemetery and across from Dog Park</i></p>	<ul style="list-style-type: none"> • Existing water and wastewater servicing available • requires only a Subdivision or identification of lease area (rezoning not required) • good road access for users • relatively central location • no site-specific flood concerns 	<ul style="list-style-type: none"> • existing electrical utility infrastructure in area that could limit useable project area, potential impacts unknown until ‘scoping’ done • no existing sidewalk or parking area • site is separated from complementary services including recreation complex facilities • This site is in the World Heritage Buffer Zone, though staff have determined negative impacts to the WHS OUV are unlikely

Financial

Entering into a long-term lease with the LDCC on Town-owned land has a financial impact. The Town would be limiting future opportunities for development, revenue generation, or other strategic uses of the land. The land would no longer be available for alternate municipal projects or initiatives that could yield economic or community benefits in the future.

Either site proposed would require investments in servicing upgrades. The Blue Building site (87 Victoria Road) would also necessitate a new storage building to house Public Works and Recreation facility materials that are currently housed there.

Depending on the terms of the lease agreement, there may still be financial obligations related to the site, such as shared infrastructure maintenance.

Strategic Plan Relevance

- General: Promote childcare opportunities.
- Community Structure: Direction regarding how the Town will be structured and how land will be used.

Relevant Legislation

The Municipal Government Act

Communications

The public hearing for this item was advertised on the Town's website and social media channels. Before the agenda finalization deadline on Feb. 4, staff received two written submissions, which are attached to this report (Attachment F). Any additional written submissions received between Feb. 4 and Feb. 10 will be acknowledged by staff at the Feb. 11 public hearing and circulated to Council for their consideration.

Attachments

Attachment A – Schematic Design new LDCC Building

Attachment B – Maps and Visual Representations of Site Options

Attachment C – TOL Flood Risk Area Map (Land Use Bylaw)

Attachment D- Rec. Complex New Parking Configuration Rendering (Traffic and Parking Study)

Attachment E – Starr Street – Heritage Screening and Analysis

Attachment F – Written Submissions from the public

LUNENBURG DAY CARE CENTRE
SITE PLAN PROPOSAL

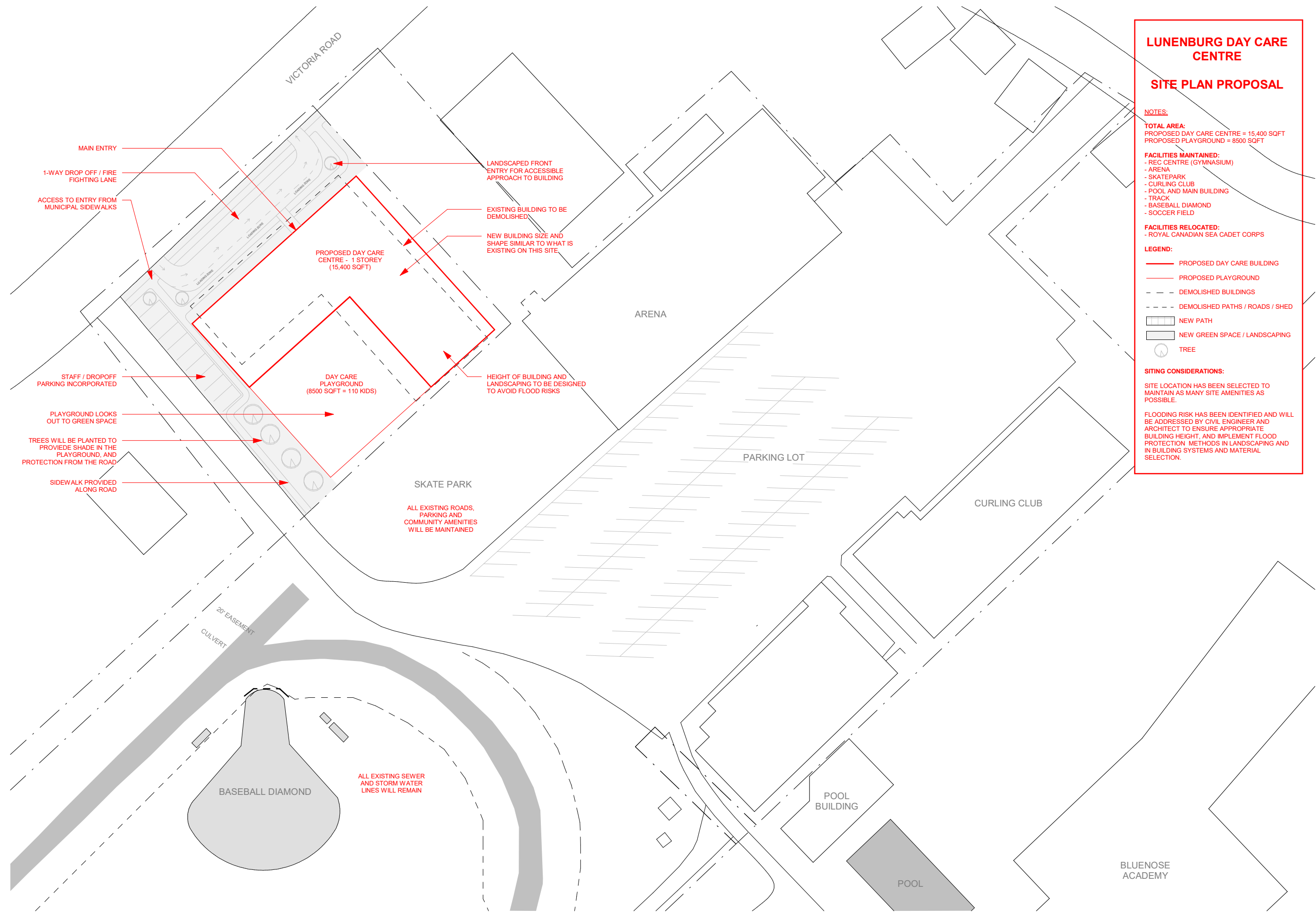
NOTES:
TOTAL AREA:
 PROPOSED DAY CARE CENTRE = 15,400 SQFT
 PROPOSED PLAYGROUND = 8500 SQFT

FACILITIES MAINTAINED:
 - REC CENTRE (GYMNASIUM)
 - ARENA
 - SKATEPARK
 - CURLING CLUB
 - POOL AND MAIN BUILDING
 - TRACK
 - BASEBALL DIAMOND
 - SOCCER FIELD

FACILITIES RELOCATED:
 - ROYAL CANADIAN SEA CADET CORPS

LEGEND:
 — PROPOSED DAY CARE BUILDING
 — PROPOSED PLAYGROUND
 - - - DEMOLISHED BUILDINGS
 - - - DEMOLISHED PATHS / ROADS / SHED
 [Grid Pattern] NEW PATH
 [Shaded Area] NEW GREEN SPACE / LANDSCAPING
 [Circle with 'X'] TREE

SITING CONSIDERATIONS:
 SITE LOCATION HAS BEEN SELECTED TO MAINTAIN AS MANY SITE AMENITIES AS POSSIBLE.
 FLOODING RISK HAS BEEN IDENTIFIED AND WILL BE ADDRESSED BY CIVIL ENGINEER AND ARCHITECT TO ENSURE APPROPRIATE BUILDING HEIGHT, AND IMPLEMENT FLOOD PROTECTION METHODS IN LANDSCAPING AND IN BUILDING SYSTEMS AND MATERIAL SELECTION.



MAIN ENTRY
 1-WAY DROP OFF / FIRE FIGHTING LANE
 ACCESS TO ENTRY FROM MUNICIPAL SIDEWALKS

LANDSCAPED FRONT ENTRY FOR ACCESSIBLE APPROACH TO BUILDING

EXISTING BUILDING TO BE DEMOLISHED

NEW BUILDING SIZE AND SHAPE SIMILAR TO WHAT IS EXISTING ON THIS SITE.

PROPOSED DAY CARE CENTRE - 1 STOREY (15,400 SQFT)

DAY CARE PLAYGROUND (8500 SQFT = 110 KIDS)

HEIGHT OF BUILDING AND LANDSCAPING TO BE DESIGNED TO AVOID FLOOD RISKS

STAFF / DROPOFF PARKING INCORPORATED

PLAYGROUND LOOKS OUT TO GREEN SPACE

TREES WILL BE PLANTED TO PROVIDE SHADE IN THE PLAYGROUND, AND PROTECTION FROM THE ROAD

SIDEWALK PROVIDED ALONG ROAD

ARENA

PARKING LOT

SKATE PARK

ALL EXISTING ROADS, PARKING AND COMMUNITY AMENITIES WILL BE MAINTAINED

CURLING CLUB

20' EASEMENT CULVERT

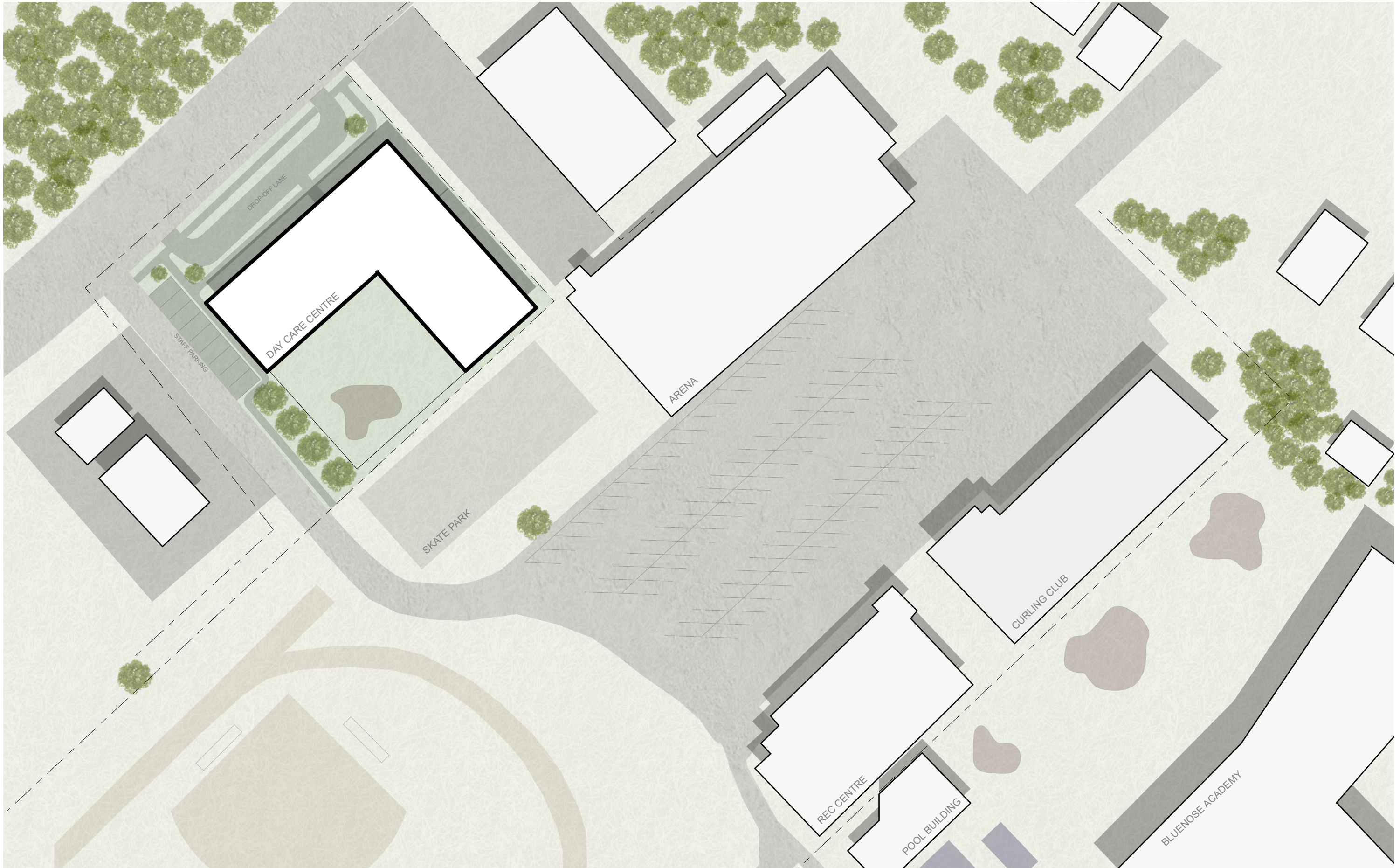
BASEBALL DIAMOND

ALL EXISTING SEWER AND STORM WATER LINES WILL REMAIN

POOL BUILDING

POOL

BLUENOSE ACADEMY



DAY CARE CENTRE

ARENA

SKATE PARK

CURLING CLUB

REC CENTRE

POOL BUILDING

BLUENOSE ACADEMY

DROP-OFF LANE

STAFF PARKING

LUNENBURG DAY CARE CENTRE
SITE PLAN PROPOSAL
STARR STREET

NOTES:

TOTAL AREA:
 PROPOSED DAY CARE CENTRE = 15,400 SQFT
 PROPOSED PLAYGROUND = 8500 SQFT

EXISTING SITE CONDITION:
 - FULLY FORESTED SITE WITH MAJOR TOPOGRAPHY BUILD-UP
 - NO CONNECTIONS TO CITY SERVICES, THOUGH ELECTRICAL POLES ARE CLOSE

NEIGHBOURING FACILITIES:
 - WASTEWATER TREATMENT FACILITY
 - ELECTRICAL SERVICE HUB
 - OFF-LEASH DOG PARK
 - CEMETERY

LEGEND:

- PROPOSED DAY CARE BUILDING
- PROPOSED PLAYGROUND
- - - DEMOLISHED BUILDINGS
- LANDSCAPING
- ⊙ TREES

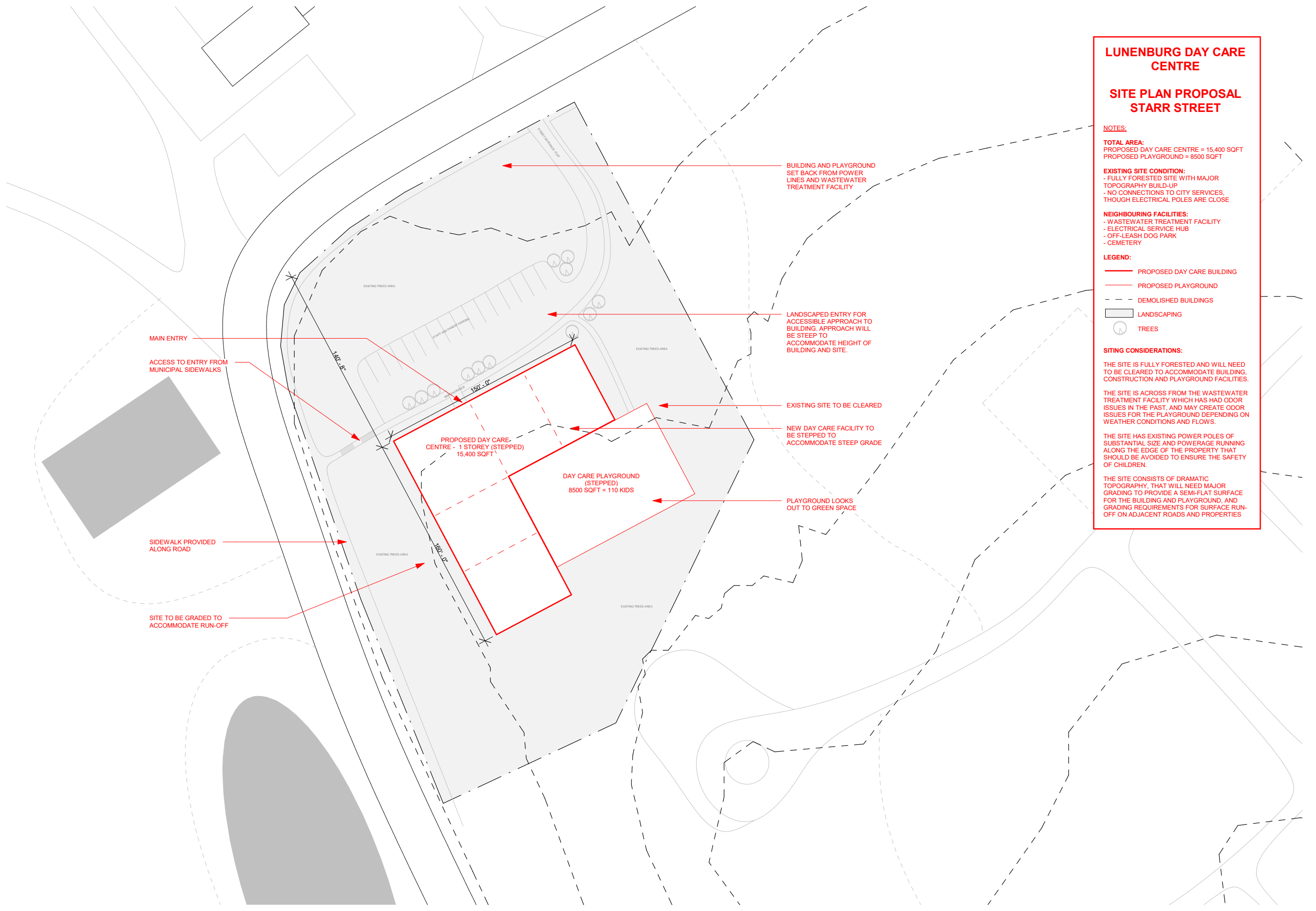
SITING CONSIDERATIONS:

THE SITE IS FULLY FORESTED AND WILL NEED TO BE CLEARED TO ACCOMMODATE BUILDING, CONSTRUCTION AND PLAYGROUND FACILITIES.

THE SITE IS ACROSS FROM THE WASTEWATER TREATMENT FACILITY WHICH HAS HAD ODOR ISSUES IN THE PAST, AND MAY CREATE ODOR ISSUES FOR THE PLAYGROUND DEPENDING ON WEATHER CONDITIONS AND FLOWS.

THE SITE HAS EXISTING POWER POLES OF SUBSTANTIAL SIZE AND POWERAGE RUNNING ALONG THE EDGE OF THE PROPERTY THAT SHOULD BE AVOIDED TO ENSURE THE SAFETY OF CHILDREN.

THE SITE CONSISTS OF DRAMATIC TOPOGRAPHY, THAT WILL NEED MAJOR GRADING TO PROVIDE A SEMI-FLAT SURFACE FOR THE BUILDING AND PLAYGROUND, AND GRADING REQUIREMENTS FOR SURFACE RUN-OFF ON ADJACENT ROADS AND PROPERTIES





WATER TREATMENT

STARR STREET

DAY CARE CENTRE

DOG PARK

STARR STREET

Requirements:

- **Subdivision** If not subdivision, a leased area must be defined. (Timeline largely driven by the Property Registry – approximately 2 months)

100' Easement

In Yellow

Area: 4119m²
44339ft²

Transmission Line

Water and Sewer in Starr St

Bay to



04/22/2023

1 of 8

Select Date

Starr St Site looking South

Site

Sewer Treatment Plant

Hwy 332

**Northwest Rd
looking Southeast**

Site (hidden
by ridge)



**Starr St and Kissing
Bridge Rd
looking West**

Site



RE-ZONING

When does it apply? A re-zoning is basically an amendment to the LUB usually in the form of an amendment to a zoning map of the LUB. Note that if a proposed re-zoning is not in compliance with the MPS, an amendment to the MPS is also required as above.

Planner > PAC > Public Participation Meeting > Council 1st Reading > Public Hearing > Council 2nd Reading > Council Decision > Applicant or any aggrieved person may appeal to UARB > Public Notice
Est. duration 6 months



MPS AMENDMENT

When does it apply? When a development is not enabled as-of-right under the provisions of the MPS and LUB. If a proposed LUB amendment is not in compliance with the MPS, an MPS amendment is also required.

Planner > PAC > Public Participation Meeting > Council 1st Reading > Public Hearing > Council 2nd Reading > Council Decision > Provincial Director of Planning Review > Minister's Approval > Public Notice
Est. duration 6 months



BLUE BUILDING

Requirements:

- **Subdivision** or a leased area must be defined. (Timeline largely driven by the Property Registry – approximately 2 months).
- **MPS Amendment & Rezoning:**
 - Currently *Mainstreet Form Zone*, needs rezoning which requires a FLU map change to *Downtown* to allow for a form zone rezoning compatible with daycare needs.
- **Demolition:** Demolition Permit required for the existing building



MAP

Flood Risk Area Map

SCHEDULE E
LAST UPDATED 2021.07.27

SCALE 1:10,000

LEGEND

-  Flood Risk Area
-  Town of Lunenburg



5.6 COMMUNITY CENTRE PARKING LOT

WSP reviewed the configuration of the Community Centre parking lot to increase parking capacity and improve circulation. The current configuration has diagonal spaces. By modifying the lot to a perpendicular space design, the lot is expected to gain about 40 parking spaces. Additionally, concrete sidewalk is suggested along the frontage of the Community Centre, improving safety and walkability for pedestrians. Concrete islands are also shown to direct drivers to the driving aisles to reduce speeding through the parking lot during periods of lower parking demand. The addition of additional accessible spaces near the front of each building will improve comfort for people with a mobility disability.



Figure 19: Community Centre Parking Lot

Preliminary Heritage Impact Screening

Lunenburg Daycare Centre- Starr Street (portion of PID: 60058351)

Prepared by: Marc Kiely, Interim Director – Community Development

Date: February 5, 2025



Purpose:

The Starr Street location identified as a potential option for the Lunenburg Daycare Centre is located within the Old Town Lunenburg World Heritage Site's (WHS) Buffer Zone (See Map, Attachment A). Town Staff with relevant professional heritage expertise have undertaken a screening exercise to determine whether there is reasonable expectation of negative consequences to the Old Town Lunenburg WHS Outstanding Universal Value (OUV) resulting from the proposed new Daycare project. The intent of the screening is to provide adequate information to determine if a subsequent Heritage Impact Assessment should be undertaken.

Additionally, this exercise was used as an opportunity to assess any potential negative impacts to any additional heritage values associated with the Old Town Lunenburg Historic District National Historic Site designation, as well as to the heritage values associated with the heritage designations of the Lunenburg Academy.

Project Scope:

As described in the primary Council memo report, the scope of this project involves the construction of a new childcare centre; consisting of a large one-storey structure (16 500 ft²) of approximately 30 feet peak height, green space and adequate parking. The project footprint is projected to require approximately one acre as currently described by the proponent.

Screening Methodology:

Staff evaluated the known project details with respect to the Old Town Lunenburg WHS Statement of OUV (SOUV). Although in any given development project there are many different variables that should be considered, this approach is important because the SOUV is specific and limited to the World Heritage designation and, therefore, limits its area of influence to what is important in the World Heritage context.

Staff also evaluated the project against the associated Heritage Values and Character Defining Elements of the district's National Historic Site designation, as well as the Lunenburg Academy's heritage designations, which is within proximity to the proposed site.

Report Synopsis:

Town staff have determined that the proposed project would be unlikely to negatively impact the OUV of the Old Town Lunenburg WHS. The project scope, including its siting and use, would provide little interaction directly or indirectly with the WHS. The protective measures in place in the Buffer Zone,

including the Land Use Bylaw and Municipal Planning Strategy provide regulatory limitations to building height and use. Additionally, a new childcare centre in Lunenburg is an important community service, which can be seen as being in direct alignment with the UNESCO World Heritage goal of incorporating sustainable development into World Heritage and its associated communities.

Similarly, when reviewing potential impacts of other identified heritage values associated with the Lunenburg Academy, Staff have determined that the new Daycare centre would be located far enough in distance and be low-lying enough in comparison with the Academy that there would be negligible visual impacts to the Academy or its surrounding area from close range, or from a distance.

Analysis:

General World Heritage Site Considerations:

Definition of Outstanding Universal Value:

To understand whether there could be impacts to the Outstanding Universal Value of the WHS it is important to reflect on what OUV is.

As described in Paragraph 49 of the Operational Guidelines for the Implementation of the World Heritage Convention (Operational Guidelines):

“Outstanding Universal Value means cultural and/or natural significance which is so exceptional as to transcend national boundaries and to be of common importance for present and future generations of all humanity...”

In other words, the OUV describes Heritage Value of global importance and more specifically, the reasons for which the WHS is inscribed on the World Heritage List.

For the Old Town Lunenburg WHS, like all World Heritage properties, the Statement of OUV (SOUV) is specific and describes what is important in the World Heritage context. This does not mean that the site does not contain other Heritage Value outside of the World Heritage context that is worth protecting, but ensuring the OUV is at the centre of any World Heritage conversation is essential to ensuring its continued protection and in meeting World Heritage site management obligations.

Also related to the SOUV - As stated in Paragraph 78 of the Operational Guidelines:

“To be deemed of Outstanding Universal Value, a property must also meet the conditions of integrity and/or authenticity and must have an adequate protection and management system to ensure its safeguarding.”

When reading the following analysis, please also refer to the accompanying SOUV document (Attachment B) which describes the Old Town Lunenburg WHS OUV, including the Criteria for which it was inscribed, and descriptions of site Integrity and Authenticity, also important components of the OUV.

Site-specific Analysis in a World Heritage Context:

Buffer Zone

As previously noted, the Starr Street site itself is located within the World Heritage Site Buffer Zone.

As per paragraph 104 of the Operational Guidelines:

“For the purposes of effective protection of the nominated property, a buffer zone is an area surrounding the nominated property which has complementary legal and/or customary restrictions placed on its use and development to give an added layer of protection to the property. This should include the immediate setting of the nominated property, important views and other areas or attributes that are functionally important as a support to the property and its protection.”

In summary, the buffer zone does not contain the OUV itself but should support the protection of the OUV. This does not mean that development is not permitted within a buffer zone, however, it means that any development should be in keeping with the principle of conserving the WHS OUV.

In this case, the proposed site is located on the very periphery of the northwest edge of that section of the Buffer Zone, adjacent to the Town’s existing electrical substation and wastewater treatment plant, which are located on the opposite side of Starr Street. Starr Street delineates the border of the buffer zone in that area.

Review of the Old Town Lunenburg WHS OUV and its attributes:

Brief Synthesis and Criteria Key Descriptors therein:

- ‘...it has retained its original layout and overall appearance...’
- ‘...based on a rectangular grid pattern...’
- ‘...wooden architecture of the houses and public buildings...well-preserved vernacular architectural tradition...’
- ‘...economic basis has traditionally been the offshore Atlantic fishery...’

Assessed potential for impact: **no expected negative impact**

All of the above-described attributes are very specific to the Old Town Lunenburg WHS location itself. The development of an institutional structure and its associated childcare services located a significant distance away from the WHS would not have any anticipated impact to the attributes noted.

Additionally, the topography of the site and its relatively low-lying position on the backside of a large hill with no direct road connection to the WHS would further separate the building site from the WHS.

Integrity (see SOUV in Attachment):

Assessed potential for impact: **no expected negative impact**

The Daycare project is highly unlikely to compromise the integrity of Old Town Lunenburg with the construction of a new building on Starr Street for the following reasons:

- the site's separation and low-lying position in comparison with the WHS
- the relatively small scale of the development
- its position on the edge of the denoted buffer zone
- Its use is limited to an institutional day-use childcare operation.

Authenticity (see SOUV section below):

Assessed potential for impact: **no expected negative impact**

The Daycare project is highly unlikely to negatively impact the authenticity of Old Town Lunenburg and does not compromise its Outstanding Universal Value (OUV) for the following reasons:

The development is modestly scaled, with minimal visible impact within the key viewplanes of the Heritage Conservation District. The proposed location offers an appropriate degree of separation from the HCD, ensuring that it integrates seamlessly with the surrounding environment.

Additional Analysis - Other Heritage Values described in non-World Heritage Programs:

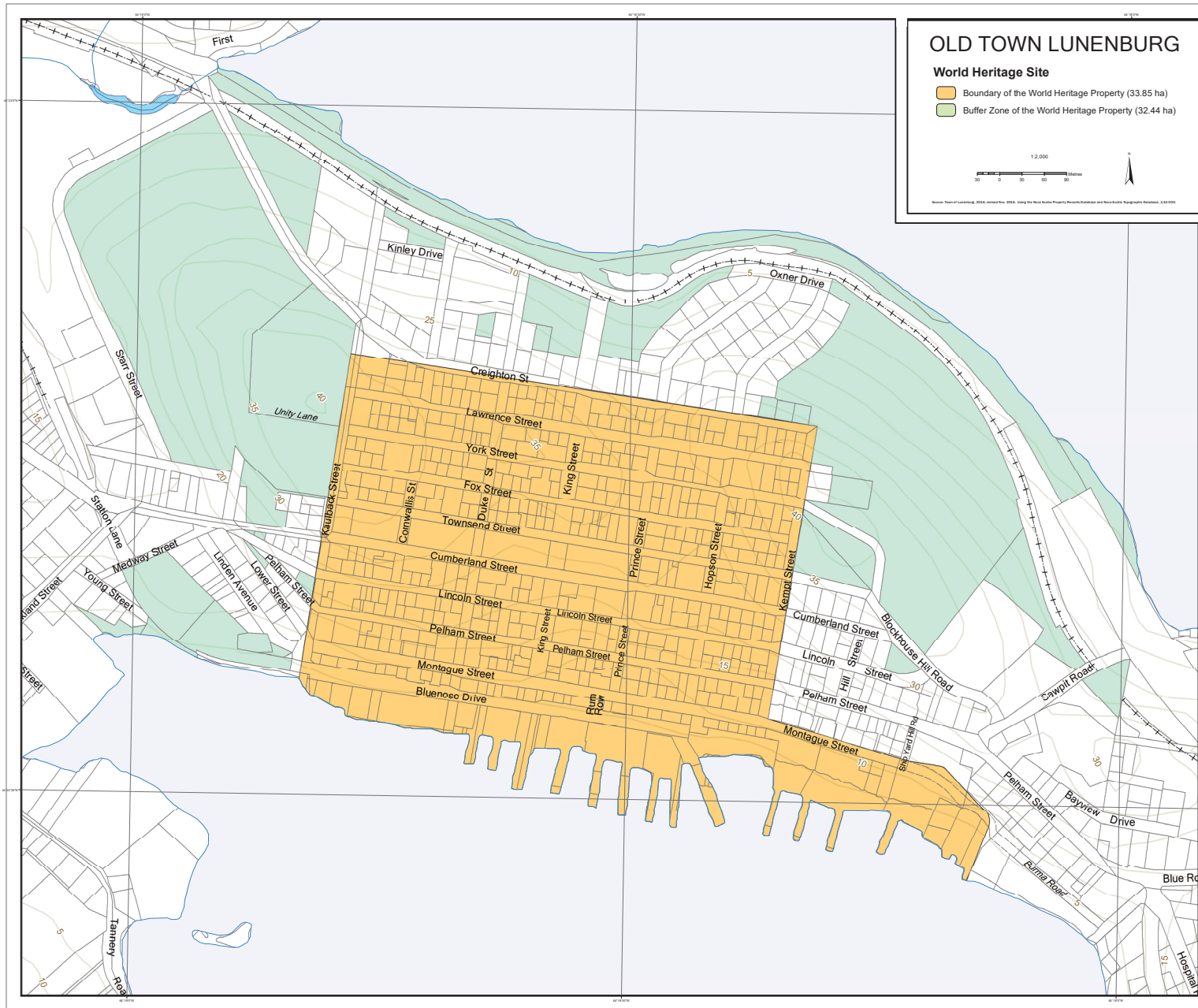
- Old Town Lunenburg Historic District NHS (see Attachment C)
 - **Character Defining Element (CDE):** *Distinction between urban and non-urban areas*
 - **Analysis:** Given the proposed site location is on the periphery of a large expansive existing open space, and directly across from existing industrial-use infrastructure (Wastewater treatment plant and Electrical substation), there would continue to be a significant definition between what can be seen as the urban areas of Old Town and non-urban areas
- Lunenburg Academy – Municipal Heritage Designation (see Attachment D)
 - **General Heritage Value note:** *The Academy's imposing form and prominent towers can be seen for miles around*
 - **Character Defining Elements (CDE):** *expanse of space around the building and prominent location on Gallows Hill overlooking Lunenburg and surrounding area, adding to its landmark status;*
 - *large scale of the building, standing three storeys high and complemented by the absence of closely neighbouring buildings;*
 - **Analysis:** The proposed project is small enough in scale, in a low enough location topographically, and a significant distance from the Heritage site. Staff feel it could not reasonably be seen to have any significant visual impacts to the above noted CDEs, at close range or from distance.
- Lunenburg Academy – National Historic Site designation (see Attachment E)

- **Character Defining Elements (CDE):** — *the prominent hilltop location at the edge of Old Town Lunenburg Historic District National Historic Site of Canada;*
- *the setting of the school in a green space with playgrounds;*
 - **Analysis:** Similar to the above; the proposed project is small enough in scale, in a low enough location topographically, and a significant distance from the Heritage site. Staff feel it could not reasonably be seen to have any significant visual impacts to the above noted CDEs, at close range or from distance, including on what Staff feel is the green space setting with playgrounds

Conclusion:

As it relates to the World Heritage designation, after having screened the various attributes denoted in the WHS SOUV and having evaluated them against the expected project impacts, Town staff do not feel there is a reasonable expectation of negative impacts to the World Heritage Site in any way, and therefore, would not recommend pursuing a standalone Heritage Impact Assessment. Staff feel this recommendation and methodology is consistent with international guidance on Impact Assessments in a World Heritage context.

*Please note that this screening has not taken into consideration any potential archaeological impacts of the proposed project as they are not within the scope of the World Heritage designation. Additionally, archaeological authority and permitting is the purview of Provincial government and outside the authority of municipal governments.



Old Town Lunenburg

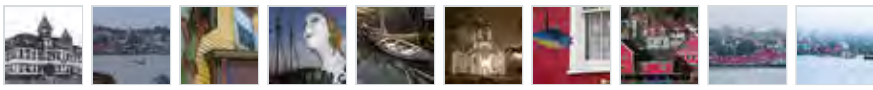
[Description](#)[Maps](#)[Documents](#)[Gallery](#)[Video](#)[Indicators](#)

Old Town Lunenburg

Lunenburg is the best surviving example of a planned British colonial settlement in North America. Established in 1753, it has retained its original layout and overall appearance, based on a rectangular grid pattern drawn up in the home country. The inhabitants have managed to safeguard the city's identity throughout the centuries by preserving the wooden architecture of the houses, some of which date from the 18th century.

Description is available under license [CC-BY-SA IGO 3.0](#)

[English](#)[French](#)[Arabic](#)[Chinese](#)[Russian](#)[Spanish](#)[Japanese](#)[Dutch](#)



Outstanding Universal Value

Brief synthesis

Old Town Lunenburg is the best surviving example of a planned British colonial settlement in North America. Established in 1753, it has retained its original layout and overall appearance, based on a rectangular grid pattern drawn up in the home country. The inhabitants have safeguarded the town's identity throughout the centuries by preserving the wooden architecture of the houses and public buildings, some of which date from the 18th century and constitute an excellent example of a sustained vernacular architectural tradition. Its economic basis has traditionally been the offshore Atlantic fishery, the future of which is highly questionable at the present time.

Criterion (iv): Old Town Lunenburg is a well-preserved example of 18th century British colonial urban planning, which has undergone no significant changes since its foundation, and which largely continues to fulfil the economic and social purposes for which it was designed. Of special importance is its diversified and well-preserved vernacular architectural tradition, which spans over 250 years.

Criterion (v): Old Town Lunenburg is an excellent example of an urban community and culture designed for and based on the offshore Atlantic fishery which is undergoing irreversible change and is evolving in a form that cannot yet be fully defined.

Integrity

Within the boundaries of the 33.85 ha property are located all the elements necessary to express the Outstanding Universal Value of Old Town Lunenburg. The property encompasses the intact original town plan in its entirety, missing only the fortifications that surrounded the town in its early years, but of which there are no surviving above-ground remains. Its boundaries adequately ensure the complete representation of the features and processes that convey the property's significance, and there is a 32.44 ha buffer zone. The property does not suffer unduly from adverse effects of development and/or neglect.

Authenticity

Old Town Lunenburg is authentic in location and setting, forms and designs, materials and substances, and uses and functions. The original British colonial town plan remains evident, including the regular layout of property parcels in a grid pattern with geometrically regular streets, central public spaces, and key community structures, with a functioning waterfront as its focus. In terms of forms and materials, there is a harmony of scale, siting and materials (predominantly wood) throughout the property, and a regional architectural vocabulary that includes the 'Lunenburg bump', an indigenous five-sided dormer. While a continuing vernacular architectural tradition is integral to the property's Outstanding Universal Value, there has been very limited infill in the modern era. Many of the property's historic uses and functions survive.

Most of the recent changes to the property are renovations to specific buildings, some of which have better conveyed the heritage value of Old Town Lunenburg than others. Due to long-term economic circumstances, there are also ongoing pressures on property owners in terms of rising property values, maintenance costs, and the challenges of retaining historical accuracy in restoration planning.

Protection and management requirements

Old Town Lunenburg, which is almost entirely in private ownership, is commemorated by the Government of Canada as a National Historic Site (1991) and protected under two key pieces of provincial legislation, the *Municipal Government Act* (1998) and the *Heritage Property Act* (1989), which enable the municipality to create, respectively, land-use and heritage bylaws. In this context, the municipality adopted the *Heritage Conservation District Plan, Bylaw and Guidelines* in 2000 (consolidated in 2001). In order to better manage the community as a World Heritage property and ensure the continuing protection of the town's heritage resources, the Town of Lunenburg Heritage Sustainability Strategy (2010) has been developed to guide its development, including the identification of heritage, culture and tourism prospects that may produce economic opportunities for the community.

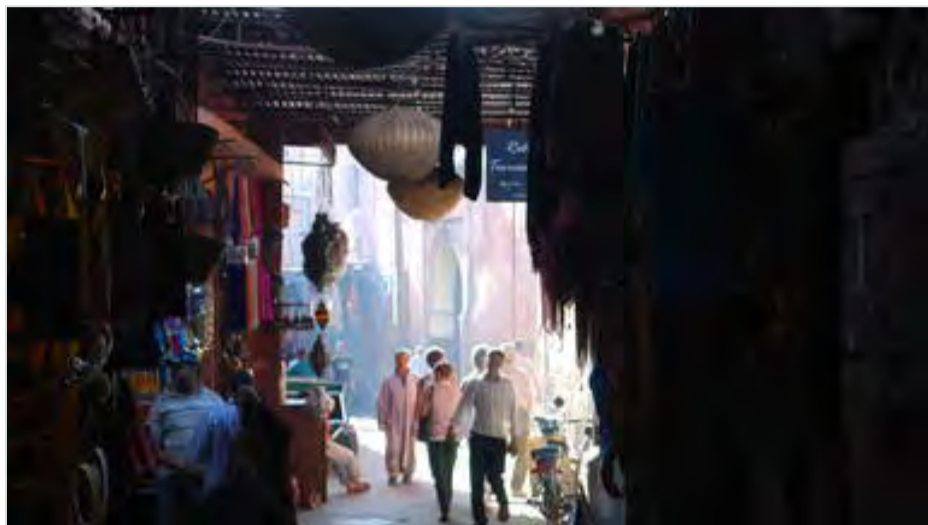
Sustaining the Outstanding Universal Value of the property over time will require managing, to the degree possible, ongoing pressures on property owners related to rising property values, maintenance costs, and the challenges of retaining historical accuracy in restoration planning. It will also require developing and implementing mechanisms to encourage building

renovations that fully respect the heritage value of Old Town Lunenburg. Special attention will be given over the long term to monitoring and taking appropriate actions related to a number of factors in and near the property. Specifically, these include the potential impacts of climate change, and the impacts of tourism and visitation.

Links

- [Old Town Lunenburg](#)
- [Canadian Sites on the World Heritage List](#)
- [Heritage Services - Town of Lunenburg](#)

Activities ^①



World Heritage Cities Programme

News ^①

Nova Scotia Provincial Government buys 17 waterfront properties in the Town of Lunenburg, Canada

23 September 2005

Media

- ▶ [Old Town Lunenburg \(UNESCO/NHK\)](#)

Canada

Date of Inscription: 1995

Criteria: (iv)(v)

Property : 33.85 ha

Buffer zone: 32.44 ha

Dossier: 741

Nova Scotia

N44 22 34 W64 18 33

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Disclaimer

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Old Town Lunenburg Historic District National Historic Site of Canada

Lunenburg, Nova Scotia



Panorama

© Parks Canada Agency/Agence Parcs Canada, 1993.



Address : Lunenburg, Nova Scotia

Recognition Statute: Historic Sites and Monuments Act (R.S.C., 1985, c. H-4)

Designation Date: 1991-06-10

Dates: 1753 to 1991 (Construction)

1753 to 1753 (Significant)

1753 to 1753 (Significant)

Event, Person, Organization: First landing; laying out the township 1753 (Event)

Charles Morris (Person)

Other Name(s): Old Town Lunenburg Historic District (Designation Name)

Research Report Number: 1991-022

Plaque(s)

Existing plaque: Bluenose Drive, Lunenburg Harbour, Lunenburg, Nova Scotia

A remarkable historical continuity is found in the streets, public spaces, buildings and daily life of Old Town Lunenburg. Set on a hill overlooking the harbour, Lunenburg was founded in 1753. Its gridiron layout, with a parade square half-way up the hill, is one of the earliest and most intact British model plans in Canada. On this compact site, pioneer German-French- and English-speaking settlers constructed a variety of wood-frame buildings that set the tone for a colourful and harmonious town centre. Today, Lunenburg boasts fine examples of Cape Cod, British Classical, Second Empire and post-victorian buildings. Many houses feature the famous Lunenburg "bump" a large dormer popular in the late 19th century. Along the commercial streets, a well-maintained collection of shops and public buildings testifies to the town's commitment to heritage conservation. Still active on the waterfront are fishing and shipbuilding industries which have won Lunenburg international acclaim for more than 150 years.

Description of Historic Place

The Old Town Lunenburg Historic District covers the core area of the town of Lunenburg, a well-preserved example of 18th-century colonization and settlement patterns with numerous outstanding examples of vernacular architecture spanning more than 240 years. It occupies the side of a hill and a narrow area along a natural harbour and includes the town's original parade square, as well as a waterfront area that is associated with the fishing and shipbuilding industries. The formal recognition consists of contributing buildings and lands contained within the boundaries of the original town plan of 1753. Old Town Lunenburg has also been designated a World Heritage Site.

Heritage Value

The Old Town Lunenburg Historic District was designated a national historic site in 1991 by virtue of its gridiron layout, one of the earliest and most intact British model plans in Canada, its strong historical associations especially with the Atlantic fisheries, and the richness and homogeneity of its architecture.

The heritage value of the Old Town Lunenburg Historic District resides in the original plan, the built forms and open spaces within the plan, the physical and cultural manifestations of the off-shore fishing and shipbuilding industries and the harmonious integration of the town and the seascape. Laid out by Charles Morris at the time of his landing on June 8, 1753, Lunenburg's Old Town Plan was the second British model plan created in present-day Canada, a gridiron plan type which had a direct and important relationship to British imperial settlement policy.

Sources: Historic Sites and Monuments Board of Canada, Minutes, 1991; World Heritage List Nomination (Appendix 3: Character Statement).

Character-Defining Elements

The character-defining elements that relate to the townsite as a whole are: its gridiron, "model town" plan, as evidenced in its geometrically regular streets and blocks, its allocation of public spaces, and its distinction between urban and non-urban areas; its small lots; the densely built nature of the townsite; its comprehensive collection of 18th to 20th-century buildings and works, including residences, churches, institutional buildings, shops and wharves; the continuing tradition of painting buildings in bright colours; the unity and cohesiveness created by the predominance of wood construction and exterior finishes among all building types and styles; the general orientation of the town and its major institutional buildings towards the harbour; the larger-scaled waterfront buildings, including wooden warehouses, lofts, boatshops, and industrial buildings, many with their gable end turned to the harbour, most of a large scale, and all painted in bright colours; its skyline punctuated by the spires of its churches; the heritage characters of St. John Anglican Church and the Knaut-Rhuland House National Historic Site of Canada.

The character-defining elements that relate to 18th-century construction are: a number of houses of "coulisse" construction, now clad in clapboard or shingles; single-storey Cape Cod dwellings; two-storey houses constructed in the British classical tradition; the former Court House; pre-fire surviving elements of St. John's Anglican Church.

The character-defining elements that relate to 19th-century construction are: the larger and more elaborate buildings that continued earlier building traditions; traditional Cape Cod and British classical residences; modifications to 18th and early 19th-century houses; Second Empire-style residences of families associated with the fishing and shipbuilding industries; the frequent use of the Lunenburg "bump" dormer in all its variations; pre-fire surviving elements of St. John's Anglican Church; St. Andrew's Presbyterian Church and the Lunenburg Lutheran Church, buildings associated with the oldest continuing worshipping Presbyterian and Lutheran congregations in Canada.

The character-defining elements that relate to 20th-century construction are: its 20th-century housing stock, including simple post-World War II bungalows, "Four-Square" houses, and Dutch Colonial Revival-style houses, that continue earlier wood construction traditions on a modest scale; sympathetically scaled commercial buildings located along Lincoln Street that help create a cohesive streetscape.

The character-defining elements associated with the history of the shipbuilding and fishing industries in Canada are: waterfront shipyards, including those still used for shipbuilding and retrofitting; buildings and facilities associated with the work and community life of people who worked in the fishing industry, including the Adams & Knickle waterfront complex and the Smith and Rhuland shipyard.

Lunenburg Academy

101 Kaulback Street, Lunenburg, Nova Scotia, Canada

Formally Recognized: 1983/06/30



From Lunenburg Cemetery



Interior staircase detail



Lunenburg Academy from Kaulback Street

OTHER NAME(S)

n/a

LINKS AND DOCUMENTS

[Overview of Lunenburg, including architectural tour and town history provided by the Town of Lunenburg.](#)

[Web site of the Lunenburg Academy Foundation](#)

CONSTRUCTION DATE(S)

1893/01/01 to 1895/12/31

LISTED ON THE CANADIAN REGISTER: 2004/08/26

STATEMENT OF SIGNIFICANCE

DESCRIPTION OF HISTORIC PLACE

The Lunenburg Academy, built between 1893-1895, is a massive, three-storey wooden Victorian building in the eclectic tradition, boldly painted in red, black and white in the town of Lunenburg, NS. It still functions as a public school for the primary level, and it is surrounded by an open playground area. It is located in a key location at the top of Gallows Hill, and is visible from most viewpoints when approaching Lunenburg. The property abuts Lunenburg's Old Town Heritage Conservation District. Designation covers the building and surrounding property.

HERITAGE VALUE

The heritage value of the Lunenburg Academy lies in its significance both historically and architecturally, and as both a local and national landmark. Designed by well-known New Brunswick architect H.H. Mott and built between 1893-1895, the Academy is a monument to the historical development of Nova

Scotia's educational system. Along with the Old New Town School in Lunenburg, it provides an architectural example of the evolution of education in nineteenth century Nova Scotia from one-room schoolhouses to the Academy system. It is the only surviving building from the Nova Scotia Academy system that continues to operate as a school, serving as Lunenburg's primary school.

The Academy is one of the very few large scale wooden buildings in Canada still surviving from the nineteenth century. Its unique and picturesque design makes it an excellent representation of late Victorian eclectic architecture. Except for a missing tower and the new cedar shingle roof, the exterior remains intact. Many interior features also remain, including wainscoting, stairways and banisters, detailed hinges and doorknobs, and the layout of classrooms and cloakrooms.

The Academy's imposing form and prominent towers can be seen for miles around, and it is visible from many approaches to Lunenburg. It is often referred to as 'the Castle on the Hill' and it is one of the most striking of Lunenburg's large stock of nineteenth century buildings. The colour scheme of the building - white, black and red – helps to bring out the details of the exterior and make it even more visible within the streetscapes and view planes of Lunenburg.

Source: Notice of Recommendation to Register as a Town Heritage Property, Heritage Designation, File 66400-40-01, Town of Lunenburg.

CHARACTER-DEFINING ELEMENTS

The character-defining elements of the Lunenburg Academy consist of all features that reflect its unusual architecture and role in the community as an educational facility, including:

- expanse of space around the building and prominent location on Gallows Hill overlooking Lunenburg and surrounding area, adding to its landmark status;
- large scale of the building, standing three storeys high and complemented by the absence of closely neighbouring buildings;
- a cedar-shingled mansard roof derived from the French Empire style, with a massive central chimney;
- on the north and south side elevations, a single central bay built out in relief and flanked by segmental dormer windows;
- large projecting frontispiece flanked by towers on both east and west elevations; the west has two towers and the east one tower;
- towers are flanked by segmental dormer windows;
- horizontal definition given by moulded belt courses, and vertical definition by pediments of varying design over the doors and pedimented windows, and the towers;
- detailed ornamentation including small ovaloid portholes on the sides of each uppermost central window on the side elevations, intricate bracketry on all windows and under the eaves, and decorative shinglework enriching the exterior texture;
- contrasting paint scheme of black, red and white.

The character-defining elements of the interior of Lunenburg Academy consist of all the original features of note including:

- wooden wainscoting stairs, and banisters;

- original hinges and doorknobs;
- original layout of the rooms.

RECOGNITION

JURISDICTION

Nova Scotia

RECOGNITION AUTHORITY

Local Governments (NS)

RECOGNITION STATUTE

Heritage Property Act

RECOGNITION TYPE

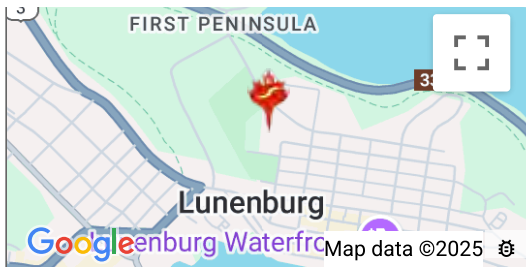
Municipally Registered Property

RECOGNITION DATE

1983/06/30

HISTORICAL INFORMATION

ADDITIONAL INFORMATION



NEARBY PLACES



Baily House

134 Pelham Street, Lunenburg, Nova Scotia

Baily House is a small, two-storey wooden residence situated on Pelham Street in Old Town...



Solomon House

69 Townsend Street, Lunenburg, Nova Scotia

A Georgian, two-storey, wooden building built between 1775 and 1797. Built to the streetline,...



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Lunenburg Academy National Historic Site of Canada

Lunenburg, Nova Scotia



General view

(© Parks Canada | Parcs Canada)

Address : 101 Kaulback Street, Lunenburg, Nova Scotia

Recognition Statute: Historic Sites and Monuments Act (R.S.C., 1985, c. H-4)

Designation Date: 1983-11-18

Dates: 1894 to 1895 (Construction)

Event, Person, Organization: Harry H. Mott (Architect)

Other Name(s): Lunenburg Academy (Designation Name)

Lunenburg Elementary School (Other Name)

Plaque(s)

Existing plaque: 101 Kaulback Street, Lunenburg, Nova Scotia

The Lunenburg Academy is a rare survivor from Nova Scotia's 19th century academy system of education. Designed in 1894 by Harry H. Mott in the Second Empire style, it was constructed of wood, the most popular building material in the Maritimes. Academies were regarded as the most prestigious publicly-funded secondary institutions in each county. This was reflected in the design curriculum and quality of teachers and facilities. Among comparable school buildings of the period in Canada, this structure is outstanding.

Description of Historic Place

Lunenburg Academy is a large, late 19th century school building in Lunenburg, Nova Scotia. It is a three-storey, wooden building in the Second Empire style, surrounded by a spacious, open playground area. Its key location atop Gallows Hill is visible from most viewpoints when approaching Lunenburg. The property abuts Old Town Lunenburg Historic District National Historic Site of Canada. Official recognition refers to the building on its legal lot.

Heritage Value

Lunenburg Academy was designated a national historic site of Canada in 1983 because — constructed of wood in the Second Empire style, it is a rare survivor from Nova Scotia's 19th century academy system of education.

Lunenburg Academy illustrates a significant stage in the evolution of the education system in 19th century Nova Scotia, which had developed from one-room schoolhouses into the Academy system. The county academies were publicly funded and offered high quality secondary education within the public school system. This was reflected in their design, curriculum and quality of teachers and facilities. The Lunenburg Academy was constructed between 1894-1895 to the designs of prominent local architect Harry H. Mott.

Source: Historic Sites and Monuments Board of Canada, Minutes, June 1983.

Character-Defining Elements

The key elements that contribute to the heritage character of this site include:

- the prominent hilltop location at the edge of Old Town Lunenburg Historic District National Historic Site of Canada;
- the setting of the school in a green space with playgrounds;
- the timber frame construction with wooden cladding;
- the substantial, three-storey, cubic massing;
- the mansard roof in the French Empire style with segmental dormer windows, massive central chimney, and the three projecting towers with pyramidal roofs;
- the lively elevations with their projecting and receding masses, defined by a twelve-bay façade

with projecting frontispiece flanked by towers housing entrances and nine-bay side elevations with central projecting frontispieces;

— the lively, classically inspired ornamentation with pediments over openings, oval windows, and intricate brackets;

— the horizontal emphasis of the moulded belt courses;

— the large school bell housed in a tower;

— the large windows with wooden frames and muntins;

— the variety of exterior textures and colours;

— the surviving interior configuration and ornamental detailing including the wooden wainscoting, stairs and banisters, paneled doors with transoms, and the original hardware.

From: [Irma Da Sie](#)
To: [Jamie Myra](#); [Rachel Bailey](#); [Renea Babineau](#); [Debbie Dauphinee](#); [Gale Fullerton](#); [Alex Greek](#); [Alison Strachan](#)
Cc: [Kayla Byrne](#); [Hilary Grant](#)
Subject: Proposed Site for a new DayCare Centre in Lunenburg
Date: January 21, 2025 7:08:07 PM

CAUTION: THIS IS AN EXTERNAL MAIL

Good Evening,
Happy New Year to all, and congratulations to each of the new councillors!

I'm writing today to add my voice to the ongoing conversation about potential sites for the proposed daycare facility, which is vitally important to Lunenburg. Thus far, all proposed sites seem to present serious challenges. It has been mentioned that the town lacks "a beautiful piece of flat, serviceable land at the ready." However, I believe the town is overlooking an ideal piece of property that perfectly meets these criteria - the town-owned RV park on Blockhouse Hill Road.

The RV park occupies one of the most valuable and picturesque pieces of land in town. This area could serve the community in more meaningful ways. It is currently serviced with water, sewer, and electricity. It is completely level and is shovel-ready. Yet, it lies empty for six and a half months of the year, raising questions about its overall value to the community.

While RV travelers benefit from convenient access to our town's services, the overall return for the community is minimal. Most RVs are self-contained with state-of-the-art amenities, meaning these visitors rarely patronize local businesses like restaurants or shops. When large caravans arrive, they immediately hook up their hoses to offload their sewage into the town's system and upon leaving after only a few days, they refill their fresh water tanks. Additionally, many RVs idle their engines for long periods as they line up to secure their spots, contributing to air and noise pollution. This imbalance between the strain on the town's infrastructure, the environmental impact and the benefits they bring, warrants a closer look.

Now is the perfect time to prioritize the needs of our town and consider transforming this location for community-focused uses, starting with the daycare facility.

The site is easily accessed via Montague Street or the back harbor route (Rte 332) leading directly to Sawpit Road, offering a convenient option for those traveling to or from other communities. It also alleviates many challenges posed by locations around Victoria Road, as this site offers ample parking, no flooding issues, a safe and peaceful environment that is free from excessive commercial traffic. Its proximity to the underutilized Sylvia Park would be an added benefit, providing opportunities for outdoor activities.

The previous council had asked the LBOT to explore alternative locations for the RV Park, so it would be valuable to revisit their findings and evaluate other potential sites.

While I propose repurposing the current RV park site for community-focused uses, the lower campground does not have to disappear entirely. It could remain on the back slope and perhaps even be expanded, striking a balance between maintaining some campground amenities while dedicating Blockhouse Hill to community needs.

Additionally, the neighboring Harbour View Haven facility, slated for relocation, presents an incredible opportunity. It could be repurposed for compatible uses that directly address community priorities, such as affordable housing, cultural programming, or recreational facilities. Together, these developments could create a secondary community hub to serve Lunenburg residents.

As a community, we must ask ourselves: What do we value most? Do we prioritize providing transient tourists with a temporary parking space, or do we focus on creating facilities that directly enhance the lives of our residents and young families?

Thank you for considering this proposal. I look forward to the continued conversation.

Sincerely,

[Irma Da Sie](#)

Retired Architect N.S.A.A.

[REDACTED]

Lunenburg, NS B0J 2C0

[REDACTED]

From: [Kerry Riley](#)
To: [Kayla Byrne](#)
Subject: Public hearing submission re New Daycare Building
Date: January 31, 2025 4:40:19 PM

CAUTION: THIS IS AN EXTERNAL MAIL

Re: Proposed Daycare Lease of Land

Council and staff:

I commend council for proposing a lease of town land for a new, much needed community daycare. But I have concerns regarding both proposed potential sites.

87 VICTORIA ROAD:

Negative impact on an already heavily congested traffic and parking area.

The site is an area prone to flood and rising sea levels as pointed out in the town's Climate Action plan 2015 and more recent documents on "Climate Change-Nova Scotia" website.

STARR STREET SITE- across from dog park and below Hillcrest Cemetery:

Would this site not add to traffic congestion on a well used artery?
This road is known for speeding vehicles as well.

Building at the bottom of a Hill leads to potential major water run off problems. It certainly would be costlier for daycare to build here. As well, excavation brings in archaeological concerns.

This site is in UNESCO buffer zone and as such needs, should have an Independent Heritage Impact Assessment as well as an Environmental Impact Assessment done.

Site doesn't seem at all an appropriate one for a daycare.

I believe both council and staff need to go back to the drawing board for a more suitable site for the daycare.

Kerry M. Riley

Lunenburg NS

Subject: Issuance of a Certificate of Appropriateness:
Proposed Developments at Lot 2 Pelham St. & Lot 3 Montague St.

Prepared by: Laura LeGresley, Heritage Officer

Date: February 11, 2025



Recommendation

That Council approve the issuance of a Certificate of Appropriateness for the construction of the commercial style structure located on Lot 3, Montague Street and the residential style structure located on Lot 2, Pelham Street.

Alternatives

- Defer the decision to a follow up meeting
- Refer the application back to the Heritage Advisory Committee for further review and recommendations
- Reject the issuance of Certificate of Appropriateness

Background

Lot 2 Pelham and Lot 3 Montague are located within the Heritage Conservation District and are therefore regulated pursuant to the Heritage Conservation District Plan and Bylaw. They are also located within the UNESCO World Heritage Site (WHS) and the Old Town National Historic Site. It is important to note that the outstanding universal value of our UNESCO designation is reflected in the HCD Plan and Bylaw.

The application has been made to build a new residential style building on Lot 2 known as PID 60719705 and a new commercial style development on Lot 3 known as PID 60719713.

On January 20, 2025, this application was brought to the Heritage Advisory Committee by the Heritage Officer where it received a unanimous vote in favour of issuing a Certificate of Appropriateness.

Under Policy 4.6 of the HCD Plan and Bylaw, applications for new commercial or multi-unit residential buildings require a public hearing before Council. In reviewing this application, Council must ensure that it aligns with the Design Guidelines and meets the requirements outlined in Policy 4.6 of the Heritage Conservation District (HCD) Plan and Bylaw. This process is focused specifically on heritage considerations. Other factors, such as lot coverage or parking, fall under the jurisdiction of the Town's Land Use Bylaw and are not within the scope of Council's decision-making for this application.

Discussion

This report evaluates the application in light of Policy 1.2 of the Heritage Conservation District (HCD) Plan and Bylaw, which emphasizes the importance of ensuring good building design and that new development aligns with the historic character of the Old Town as the purpose of the conservation plan.

Lot 2, Pelham Street

The proposal for Lot 2 Pelham Street features a 2 ½ storey gambrel style residential structure. This block of Pelham Street is primarily residential in style with buildings varying from 1½ to 2½ storeys.

Staff recommends that the design of the new residential building on Lot 2, Pelham Street, aligns with the design guidelines set out in the Heritage Conservation Bylaw for the following reasons:

DESIGN GUIDELINES	PROPOSED DESIGN	COMPLIANCE
Form and Roof Shape	Gambrel roof form	<i>Meets requirements</i>
Height	2 ½ storey structure with an additional storey on the south side due to sloping site	<i>Meets requirements</i>
Roof Pitch	Gambrel roof	<i>Meets requirements</i>
Size and Massing	1248 sq. ft.	<i>Meets requirements</i>
Proportions	39':32' falling between the 1:1 minimum and 1:2 maximum	<i>Meets requirements</i>
Setback	Zero (0) front yard set-back.	<i>Meets requirements</i>
Orientation to the Street	The proposed building sits parallel and perpendicular to the street lines	<i>Meets requirements</i>
Building Separation	minimal separation between adjacent buildings	<i>Meets requirements</i>
Façade Design	Emphasis on vertical elements (vertically proportioned windows), required proportions, visual balance (using symmetry), rhythm and alignment and maintains a window to wall area ratio where openings are under 25% of the façade area	<i>Meets requirements</i>
Windows	Windows on the proposed building are vertically proportioned	<i>Meets requirements</i>
Doors	Main entrance facing the street with doors of traditional vertical	<i>Meets requirements</i>

	wood plank style and construction with plain 4" casing	
Dormers	Scottish dormers placed in a visually balanced arrangement	<i>Meets requirements</i>
Cladding and trim	Wooden shingles with non-combustible cladding to match shingles on facades facing adjacent buildings with cornerboards. Window trim will be 4"	<i>Meets requirements</i>
Roof materials	Metal roofing	<i>Meets requirements (dark or medium tones permitted)</i>
Foundation	Cladding will extend as close as possible to grade.	<i>Meets requirements</i>

Staff believe that the proposed building demonstrates a thoughtful response to the surrounding context in terms of proportions, size, and massing, blending seamlessly into existing streetscape. It incorporates several traditional design elements characteristic of this section of Pelham Street, such as the Scottish dormers found on the neighboring buildings. The form of the gambrel roof also echoes the adjacent building at 80 Pelham. The use of vertical wood plank doors not only draws inspiration from the traditional waterfront heritage buildings in the area but also offers a contemporary take that enhances the overall streetscape. The building's urban form aligns with the defining characteristics of Old Town Lunenburg, as recognized by its UNESCO designation, with little to no setbacks and separation between buildings and the orientation in relation to the street grid. The materiality honours the Lunenburg Vernacular, featuring wooden shingles and wide cornerboards. It integrates modern materials such as a metal roof which is permitted under the HCD Bylaw and non-combustible cladding on facades adjacent to neighbouring buildings to aid in the preservation of our built heritage.

In accordance with Policy 4.6 of the Heritage Conservation District Plan, the proposed design is sympathetic to nearby heritage buildings. The proposed building does not fall within the viewplane of the views highlighted in map 6 of the HCD Plan and Bylaw, nor does it detract from views of adjacent heritage buildings. It respects the design guidelines intended to maintain the architectural integrity of Old Town Lunenburg while allowing for cohesive contemporary development.

For the above reasons, staff has made a positive recommendation for the development of this residential building on Lot 2, Pelham Street.

Lot 3, Montague Street

The proposal for Lot 3 Montague Street incorporates two 3 ½ storey gambrel style commercial structures with separate facades joined by a setback 3 storey enclosed walkway. This block of

Montague Street is made up of a mix of residential style and commercial style buildings with buildings varying from 1½ a to 3½ storeys.

Staff recommends that the design of the new commercial buildings on Lot 3, Montague Street, aligns with the design guidelines set out in the Heritage Conservation Bylaw for the following reasons:

DESIGN GUIDELINES	PROPOSED DESIGN	COMPLIANCE
Form	Gambrel roof form	<i>Meets requirements</i>
Height and Roof Pitch	3½ storeys	<i>Meets requirements</i>
Size, Massing and Proportions	<p>The proposed buildings reinforce the grid pattern that originated on 40'x60' lots – each structure is 39'x62' for a massing of 2418 sq. ft. Being over 2100 sq. ft., each façades feature storefronts that break up the façade into smaller units, in keeping with traditional storefront scale (~20')</p> <p>The building features two distinct building masses thus achieving the intent of the bylaw to avoid visually dominant buildings and is therefore deemed to be in keeping with the intent of the design guidelines.</p>	<i>Meets requirements</i>
Setback	Located on a corner lot, the East building is set to the property line with zero (0) setback on Duke Street. On Montague Street, the buildings are set less than 4' from the property line, following the patterns of the surrounding streetscape.	<i>Meets requirements</i>
Orientation to the Street	Parallel and perpendicular to the street lines.	<i>Meets requirements</i>
Building Separation	The proposed buildings fit the pattern of building separation of the street with minimal separation	<i>Meets requirements</i>
Façade Design	Each façade incorporates elements of traditional storefront design such as display windows, strong cornice over storefront and strong baseline defined by baseboard panels.	<i>Meets requirements</i>

	<p>The gambrel rooflines establish visual continuity with neighbouring building (90 Montague)</p> <p>Vertical emphasis with elements in alignment with each other, vertically proportioned windows and cornerboards</p>	
Materials	<p>Wooden shingles with non-combustible cladding to match shingles on facades facing adjacent buildings. Window trim will be 4" and cornerboards will be 10"</p> <p>Metal roofing</p>	<i>Meets requirements</i>

The proposal for Lot 3, Montague Street, echoes multiple buildings along Montague Street (90, 144 and 152 Montague) with a gambrel roof form, a traditional style of both commercial and waterfront buildings in Old Town Lunenburg. The design features two distinct masses connected by a setback hallway with a separate height and roof, effectively achieving the intent of the bylaw to prevent visually dominant structures. This approach honours the grid pattern that underpins the designation of the UNESCO World Heritage site, with lot sizes of 40 x 60 (the proposed design is 39 x 62), ensuring the building fits harmoniously within the existing streetscape without blocking views of adjacent heritage buildings. By adhering to these principles, the design is aligned with the distinct urban form of the Heritage Conservation District, maintaining the historical character of the HCD. As a result, the design is fully in keeping with the intent of the design guidelines, which emphasize the importance of avoiding large, overpowering buildings in favor of a more cohesive and varied streetscape.

Each façade incorporates key elements of traditional storefront design, including 6 pane display windows, a strong cornice over the storefront, and baseboard panels, establishing visual continuity with the neighbouring building at 90 Montague, reinforcing the historical architectural context. These storefronts divide the principal facades to break up the façade into smaller units and reduce the scale of the building. The solid wood plank ‘shutters’ draw inspiration from the traditional waterfront heritage buildings in the area, while offering a modern interpretation that contributes positively to the overall streetscape.

Additionally, each façade demonstrates a general vertical emphasis, with vertically proportioned windows, cornerboards, and aligned architectural elements that enhance the buildings’ connection to the surrounding structures. The wooden shingles, doors and windows

reflect the materials found on adjacent buildings, further integrating the buildings into the established vernacular architectural fabric of Montague Street.

In line with Policy 4.6 of the Heritage Conservation District Plan, the proposed design maintains the required proportions, scale, and materials, ensuring that the buildings harmonize with their architectural context, preserving the area's historic character while allowing for creative adaptations of traditional styles. The proposed building does not fall within the view plane of the views highlighted in map 6 of the HCD Plan and Bylaw, nor does it detract from views of adjacent heritage buildings.

For the above reasons, staff has made a positive recommendation for this development on Lot 3 Montague Street.

Staff have not identified any concerns regarding the proposals. Both developments are fully compliant with the HCD Plan and Bylaw, ensuring the historic integrity of the district is preserved.

Strategic Plan Relevance

The approval of the request can be justified in-keeping with the Town's CCP, in particular:

- **Housing:** Direction to support different types of housing development, tenant structures, and affordability
- **Heritage:** Direction to protect and enhance existing heritage assets and to support a wider cultural narrative
- **Urban Design:** Direction to enhance residents' and visitors' experience of the built environment

Relevant Legislation

The Municipal Government Act, the Heritage Property Act, and the Heritage Conservation District Plan and Bylaw apply to this application.

Financial

There is no impact to the approved 2025-2026 Operating Budget

Communications

The public hearing for this item was advertised on the Town's website and social media channels. Before the agenda finalization deadline on Feb. 4, staff received one written submission, which is attached to this report (Attachment C). Any additional written submissions received between Feb. 4 and Feb. 10 will be acknowledged by staff at the Feb. 11 public hearing and circulated to Council for their consideration.

Attachments

A. HCD Plan Policy 4.6 : New Buildings

B. Application and Plans/Elevations

C. Public Hearing Written Submission

ATTACHMENT A

Old Town Heritage Conservation District Plan New Building Policy 4.6

4.6 New Buildings.

For the purposes of this conservation plan and bylaw, the architectural characteristics of pre-1940 buildings are adopted as the preferred model and architectural reference for new buildings. This does not mean that new buildings must be built as replicas of historic styles but does mean that they must embody architectural characteristics that relate sympathetically to nearby heritage buildings, so as to produce visual continuity between the old and the new. Creative building designs and adaptations of traditional styles are encouraged provided that they relate sympathetically to surrounding buildings.

4.6.1 Design criteria for new buildings.

It shall be the intention of Council to require new buildings in the heritage conservation district to be compatible with the architecture of nearby pre-1940 buildings. The factors involved in evaluating the compatibility of proposed new buildings shall be described in the design guidelines of the conservation bylaw and may include reference to:

- .1 architectural form (number of storeys, roof shape & pitch, proportion and massing);
- .2 scale (size, ground floor area, height, and bulk);
- .3 location (setback, building separation, and orientation to the street);
- .4 facade design (proportion, directional emphasis, visual balance, rhythm and alignment, ratio of facade openings to wall area);
- .5 proportion, size, placement, and style of windows and doors;
- .6 style, proportion, and placement of dormers;
- .7 exterior cladding materials;
- .8 architectural trim and ornamentation;
- .9 design and placement of porches, verandas and exterior stairs;
- .10 roofing materials;
- .11 materials and placement of chimneys.

The design guidelines shall take account of the differing characteristics of houses, commercial buildings, industrial buildings and institutional buildings.

4.6.2 Public hearing required for certain new buildings.

Where application is made for a Certificate of Appropriateness for a new commercial, industrial or institutional building, including any new public building, or for a new residential building containing more than two dwelling units, it shall be the intention of Council that the application shall be reviewed at a public hearing. Before approving the application, Council shall be satisfied that the proposed new building:

- .1 conforms with the intent of this conservation plan and with the requirements of the conservation bylaw and design guidelines.
- .2 is in keeping with the architectural character of the surrounding neighbourhood.
- .3 will not negatively affect public views of adjacent heritage buildings.
- .4 where applicable, will not negatively affect public views as identified on Map 6.

August 19, 2024

Town of Lunenburg
119 Cumberland Street
PO Box 129
Lunenburg, Nova Scotia
Canada B0J 2C0

RE: Proposed New Construction at 80 Pelham St

Dear Heritage Officer,

Please find attached, elevations, site plan, floor plans, and streetscape drawings for your consideration for a Certificate of Appropriateness, for new constructions surrounding 80 Pelham St (Lot 2 & Lot 3). Also included are commercial building precedents in the immediate context.

"Taken alone, tradition stagnates and modernity vaporizes. Taken together, modernity breathes life into tradition, and tradition responds by providing depth and gravity."
Octavio Paz, Mexican poet.

The Lunenburg heritage guidelines state that new buildings should be compatible with, while distinguishing themselves from, their heritage context – sustaining Lunenburg's vernacular architecture tradition. In my view, this western portion of Montague Street plays an important role in the 'genius loci' of Lunenburg. I have long hoped to design and build an infill project there.

Design Rationale

+ Form: the proposed buildings are consistent with the gambrel roof, commercial building typology found on Montague St and in the neighbouring Romkey House on Pelham St.

+ Scale: is consistent with other 3-4 storey neighbours on Montague and 2.5-3 storey neighbours on Pelham. Building heights are below the 34' (midpoint between eave and ridge) stipulated in the Land Use Bylaw.

+ Streetwall: the Montague St and Pelham St facades of the new buildings have no set-back from the property line. This is consistent with neighbours on that block.

+ Facade: while the proposed Montague St buildings do not literally replicate their neighbours, they achieve visual balance and rhythm through an asymmetrical window composition and repetition, found in many of their neighbours (see attached precedents). The asymmetrical windows in this proposal consist of aggregations of traditional window types. This achieves overall balance within the façade; and continuity between the new and existing structures and their surrounding context. Comparatively, the

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proposed Pelham St building maintains a more reserved and symmetrical façade composition, in keeping with the residential nature of the neighbouring buildings and the street at large.

+ Cadence: A 90" wide, 36" deep 'reveal' connects and separates the two proposed Montague St buildings and, while providing access to apartments above, distinguishes two distinct façades at a scale that supports the cadence of elevations along the street.

+ Duke St: or secondary façade of the Montague St corner building, provides a gradient composition – from larger fenestration that speaks to the commercial side and helps assert the visual presence of the street corner, to smaller fenestration gesturing to the residential side on Pelham St. The resulting asymmetrical composition references the neighbouring side façade of Romkey House.

+ Windows: the proposed Montague St storefront employs large, vertically oriented, multi-pane, windows identical in proportion to its historic neighbours. All other proposed windows are double-hung windows, with wood sashes. All windows share a regulating modular compositional grid that is derived from traditional window sizes and proportions found throughout Lunenburg.

+ Dormers: the proposed Montague St corner building incorporates two shed roofed dormers into the gambrel roof along Duke St, while the proposed Pelham St building incorporates Scottish dormers in keeping with the neighbouring Romkey House.

+ Materials: with the exception of those that abut property lines, which will be clad in a non-combustible cladding to match cedar shingled facades, all exterior walls will be clad in 4" exposure cedar shingles.

+ Trim: all window and door openings will be provided with 4" wide exterior wood trim. Corner boards, frieze and fascia boards are 10". Eaves will have a 4" overhang. The ground floor storefront window on Montague St will have a traditional "base board pan" to match neighbouring storefronts.

+ Porches: none.

+ Roofing: all roofs will be clad in metal.

+ Exterior colour of the proposed buildings is intended to be natural cedar (like The Dory Shop, Ironworks Distillery).

+ Appendix 2: This section allows for either narrow or wide eaves. Ours are narrow. This appendix also allows for commercial facades to be plainly trimmed.

Thank you for your time on this proposal. It has been a pleasure working with you, and we have appreciated your collaborative style. We hope this provides the information you require to issue a Certificate of Appropriateness.

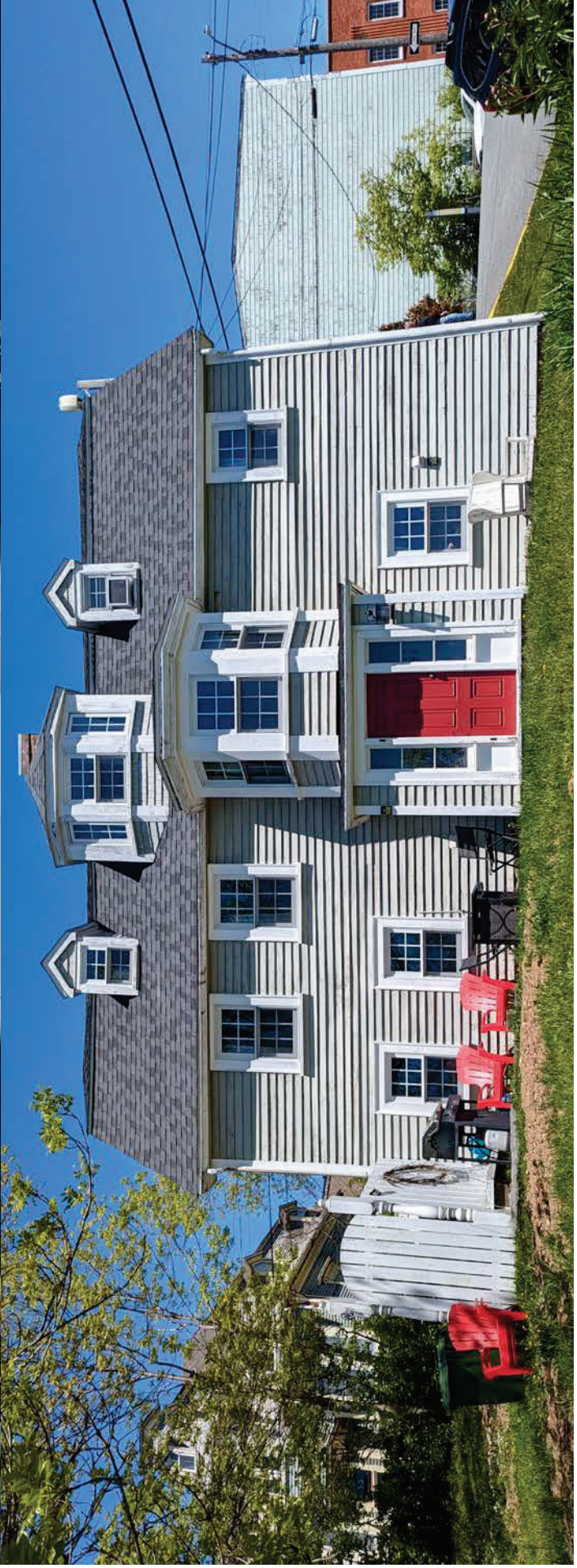
Sincerely,

A handwritten signature in black ink that reads "Brian MacKay-Lyons". The signature is fluid and cursive, with a long horizontal flourish extending to the left from the bottom of the name.

Brian MacKay-Lyons

Architect, Professor, BA, BEDS, MARCH, FRAIC, RCA, (Hon. Int.) FAIA, (Int.) FRIBA
Principal Mackay-Lyons Sweetapple Architects

Lunenburg Precedent Images



Romkey House
gambrel roof, scottish dormers, asymmetrical facades



Romkey House
gambrel roof, scottish dormers, asymmetrical facades



B2
LOFTS

B2 Lofts
experience with heritage preservation



B2 Lofts
experience with heritage preservation



Shobac: Schoolhouse and Troop Barn
experience with heritage preservation



Shobac: Schoolhouse
experience with heritage preservation



minimalist eaves, all shingles



2 1/2 storey, symmetrical facade, dormers



2 storey, asymmetrical facade



3 1/2 storey, asymmetrical facade



3 storey, symmetrical facade



3 1/2 storey, gambrel roof, asymmetrical facade



gambrel roof, shutters



3 1/2 storey Gambrel, trompe l'oeil stone cladding



storefronts 6 pane big window type



Pelham St Elevations



Montague St Elevations





TOWN OF LUNENBURG
HERITAGE, DEVELOPMENT PERMIT AND ENCROACHMENT LICENSE APPLICATION FORM

Date: August 20, 2024

Civic Address: LOT 2 Pelham Street, Lunenburg and LOT 3 Montague Street, Lunenburg

PID: 60719705 and 60719713

ZONE: CG-OT1-L1

HCD

ARCH CONTRL

MuDesHER

Applicant Information:

Name: _____

Mailing Address: _____

Telephone: _____ Cell: _____ Fax: _____

Email: _____

Property Owner Information:

Same as applicant/owner

Name: _____

Mailing Address: _____

Telephone: _____ Cell: _____ Fax: _____

Email: _____

Proposed Use and Construction:

Current use:

- Single-unit dwelling Describe: _____
- Multiple occupancy Describe: Multi unit Residential and Commercial
- Commercial Describe: _____
- Institutional Describe: _____
- Other Describe: _____

Proposed use:

- No change
- Change to _____

Proposed scope of project:

1. Pelham Residential Building:
2.5 storey building plus basement level, including six residential units.
2. Montague Commercial Building:
3.5 storey building, including underground parking, two commercial units and fourteen residential units.

Contractor Information: Same as applicant; or

Name: _____ Telephone: _____

Email: _____ Cell: _____

Documentation attached:

- Location Plan showing distances to lot lines
- Photograph of existing conditions
- Elevation drawings
- Other Building precedents in the immediate context

Permits/Fees:

- Old Town Heritage Certificate of Appropriateness (free)
- Heritage Permit (free)
- Development Permit (free)
- Encroachment License (\$100.00 plus HST)
- Indemnification Agreement for a portable/sandwich board sign

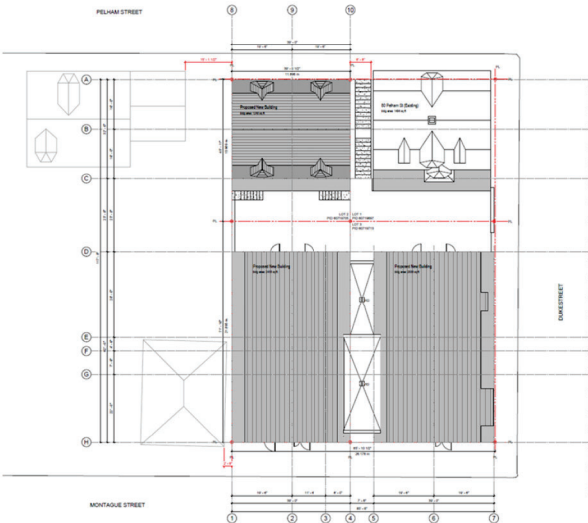
Applicant Declaration:

I solemnly declare:

1. That I am the authorized agent of the owner/the owner named in this application for a permit.
2. If the owner is a corporation or partnership, I have the authority to sign for the corporation or partnership.
3. That the plans and specifications submitted are prepared for the construction or alteration of the building or buildings described.
4. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge and made with a full knowledge of the circumstances connected with the same.
5. It is clearly understood by the undersigned that this is only an application and does not authorize the applicant to proceed with any work until all required permits are issued.
6. It is clearly understood by the undersigned that the changes in the design must be submitted for approval prior to construction.

Signature of Authorized Applicant: _____ Date: 2024.09.10 08:50:24 -03'00' _____ Date: 2024-09-10

Sample Location Plan:



Office Use only:

Encroachment (GENC)

From: [Kerry Riley](#)
To: [Kayla Byrne](#)
Subject: Public Hearing Submission re New Development in HCD
Date: January 31, 2025 6:19:12 PM

CAUTION: THIS IS AN EXTERNAL MAIL

To council and staff:
Re: PROPOSED DEVELOPMENT IN HCD - Montague & Pelham Streets

As referenced by staff this new development proposal is in the Heritage Conservation District which has its own legal plan and by-law. Requirements for this development are met, according to staff, in regard to the HCD.

As well, this development site is within our UNESCO World Heritage Site. Unfortunately, our WHS is not and has not been legally protected by the town for the last 30 years since its 1995 designation.

As a result of this massive oversight by the town, any new development within our World Heritage Site does not receive an important extra layer of scrutiny and protection. Obligations to UNESCO are not met. Independent Heritage Impact or Environmental Assessments are not done when they should be a requirement.

This issue has recently been highlighted to council in a December 16/2024 letter from ICOMOS Canada which was entered as correspondence in the January 14/2025 council agenda. Council has yet to address the letter's concerns and questions. New planning policies and by-laws will be required to meet UNESCO expectations. "World Heritage Sites Regional Action Plan for Europe & North America 2024-2031" sets out clear objectives for the management of a WHS and the need for heritage impact assessments. I do hope that council moves in this much needed direction to rectify a serious planning/development oversight.

I will not comment on the aesthetics or heights of proposed development although the buildings are certainly recognizable as a BMLS signature design, for better or worse depending on one's viewpoint.

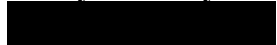
My concerns:

1. Mr. McKay-Lyons stated at his recent presentation for this development site that the Old Romkey house was built on an Acadian foundation. As the architectural drawings indicate underground parking, I assume that major excavation work will be done. This may expose important pre- colonial/colonial archaeology and artifacts....at risk of being destroyed during excavation. Is this not a concern for council?
2. Will the town be apprising Parks Canada/ICOMOS Canada and the UNESCO World Heritage Center about this new development proposal in our World Heritage Site?
3. Is it premature to issue a Certificate of Appropriateness at this time?

I would just like to add that it is disappointing that so very little time was given for written

submissions for this and the daycare public meetings.

Kerry M. Riley



Lunenburg NS

Subject: Accessible Housing Incentive Policy
From: Community Development
Date: January 28, 2024 - Notice
Feb. 11, 2024 - Decision



Recommendation

That Council approve the new Accessible Housing Incentive Policy as presented.

Alternatives

1. Refer this item to the Accessibility Committee
2. Request additional information from Staff
3. Request edits be made before the policy returns for decision

Background

The Town of Lunenburg has identified a need to encourage the development of more accessible housing units in the community beyond the minimum requirements mandated by the Nova Scotia Building Code. To support this goal, staff propose an incentive policy that would refund developers for municipal service hookup fees and subdivision fees when they include additional accessible units in their projects.

These fees currently represent a significant upfront cost for developers:

- Municipal service hookup fees: Average \$3,500 per dwelling unit.
- Subdivision application fees: Range from \$2,000 to \$5,000, depending on the scope of the development.

By reimbursing these fees, the Town can create a tangible incentive for developers to prioritize accessibility in their housing projects, while fostering a more inclusive community.

This initiative is one of the Town's housing Accelerator Fund initiatives. Council needs to pass a motion on additional accessible unit incentives by February 29, 2025, to meet the Housing Accelerator Fund deadline.

Discussion

To encourage accessible housing development, staff recommend reimbursing municipal service hookup and subdivision fees for projects exceeding minimum accessibility requirements. Administering incentives via the Town's extant permitting and inspection process would streamline the incentive's administration and reduce staff workload.

The Building Code specifies minimum accessibility requirements for residential buildings, including barrier-free entrances, wider doorways and passageways, maneuverable bathrooms and kitchens, and reinforced walls for grab bars. Accessible units are designed to provide usability for individuals with physical disabilities. These requirements ensure units are functional for individuals with mobility challenges, meeting standards outlined in the Nova Scotia Building Code Regulation.

In Nova Scotia, the Building Code Regulations specify accessibility requirements for residential buildings, particularly concerning the number of accessible units in multi-unit dwellings.

- Buildings with less than 20 dwelling units have no minimum accessible unit requirement.
- Buildings with 20 or More Units: At least 1 in every 20 units must be accessible. For example, a building with 60 units would require a minimum of 3 accessible units.

Using this criteria as the trigger for our program would mean any of the following would be eligible for a refund

- Buildings with less than 20 dwelling units with one accessible unit
- Buildings with 20 or more units must include 2 accessible units for every 20 units, plus one additional accessible unit for any remaining units beyond multiples of 20. For example, a building with 60 units would require a minimum of 6 accessible units. A building with 65 units would require a minimum of 7 accessible units.

The proposed incentive would apply to any project that requires a building and occupancy permit under the Nova Scotia Building Code. This means the policy applies to all types of dwelling units being made accessible. This includes newly constructed units, renovations to existing structures, and the creation of accessory dwelling units.

Given that the Housing Accelerator Fund (HAF) is a time-limited funding source, Council will need to evaluate whether to allocate additional resources if the program is to continue beyond the Fund's availability. At this stage, staff recommend implementing a three-year pilot program to assess the program's impact and feasibility.

Administration

Staff recommend aligning the Town's incentives with Nova Scotia Building Code requirements to streamline administration. This approach ensures that all necessary information is collected during the permitting process.

Building permit are required for:

- New Construction: Erecting a new building or structure.
- Renovations/Alterations: Making changes to an existing structure that affect:
 - Structural integrity.
 - Life safety systems (e.g., fire alarms, sprinklers).
 - Plumbing, electrical, or mechanical systems.

- Demolitions: Taking down an existing building or a significant part of one.
- Additions: Expanding the size of an existing building.
- Accessory Structures: Constructing structures like garages, sheds (depending on size), and decks.
- Change of Use: Altering the use or occupancy classification of a building (e.g., converting a residence into a commercial space).
- Significant Repairs: Repairs that involve structural components (e.g., replacing load-bearing walls, foundation work).

An occupancy permit is required before:

- Occupying a New Building: Moving into or using a newly constructed building or addition.
- Reoccupying After Significant Renovations: After major repairs or alterations that impact life safety or structural components.
- Change in Use: When a building's purpose changes and requires compliance with a different occupancy classification under the Building Code (e.g., residential to commercial).

As part of the building permit application, projects are assessed against the Nova Scotia Building Code Regulations, including accessibility criteria. To receive an occupancy permit, a qualified building inspector conducts an on-site review to confirm that accessibility requirements have been met. Reimbursement of funds would occur after the issuance of the final occupancy permit, ensuring compliance.

This approach addresses potential risks, such as projects failing to meet accessibility standards. In some cases, developers may opt to make units adaptable rather than fully accessible to reduce costs. By tying incentives to final occupancy, the Town can ensure that projects deliver on their commitments to accessibility before funds are disbursed.

Strategic Plan Relevance

Housing: Direction to support different types of housing development, tenant structures, and affordability

Relevant Legislation

Municipal Government Act

Financial

These incentives will result in lost revenue for the Town. However, passing these incentives will contribute to the Town being able to keep and spend the \$1,158,943 received under the Housing Accelerator Fund.

Communications

These incentives would be publicized if passed by Council.

Attachments

- A. Draft Accessible Housing Incentive Policy

B. [Nova Scotia Building Code Regulation: User Guide](#)

Accessible Housing Incentive Policy

Date adopted by Council: **TBD**



1. POLICY STATEMENT

The Town of Lunenburg recognizes the importance of increasing accessible housing options within the community. To encourage the development of housing that exceeds the minimum accessibility requirements of the Nova Scotia Building Code, this policy provides targeted financial incentives to eligible projects that prioritize accessibility.

2. PURPOSE

The purpose of this policy is to:

1. Promote the development of accessible housing that enhances inclusivity within the Town of Lunenburg.
2. Provide financial support to those who go beyond the mandated accessibility standards in their housing projects.

3. SCOPE

This policy applies to building projects that exceed the minimum number of accessible housing units required under the Nova Scotia Building Code and meet the eligibility criteria outlined in Section 5 of this policy.

4. DEFINITIONS

“Accessible Dwelling Unit” is a fully barrier-free dwelling unit that meets the requirements of Accessibility (A) under the Nova Scotia Building Code Act and Regulations. For the purposes of this policy, an adaptable unit per the Adaptable Housing Requirements (AHR) under the Nova Scotia Building Code Regulations does not qualify as an accessible dwelling unit.

“Building Project” means any project requiring a building permit and occupancy permit under the Nova Scotia Building Code Act.

“Dwelling Unit” has the same meaning as the Nova Scotia Building Code Act and Regulations.

“Occupancy Permit” means an occupancy permit issued per the Nova Scotia Building Code Act and Regulations, confirming that a building or part thereof is suitable for occupancy.

“Service Hookup Fees” means charges levied by the Town for connecting to municipal water and wastewater services. These fees are limited to connection charges and do not include costs associated with street or service extensions or upgrades, or reinstatement of laterals.

“Subdivision” has the same definition as in the Town’s Subdivision By-law.

“Subdivision Fees” means charges levied by the Town in relation to the processes and requirements outlined in the Town’s Subdivision By-law, including but not limited to application, review, and approval fees for subdivision plans.

“Town” means the Town of Lunenburg.

5. Eligibility Criteria

To qualify for incentives under this policy, building projects must meet one of the following conditions:

1. Building projects on buildings with fewer than 20 Dwelling Units: The project must include at least one accessible dwelling unit.
2. Building project on building with 20 or More Dwelling Units: The project must include two accessible dwelling units for every 20 dwelling units, plus one additional accessible dwelling unit for any remaining units beyond multiples of 20.

6. Incentives

The Town will reimburse Service Hookup Fees and Subdivision Fees charged against building projects upon submission of a final occupancy permit that confirms compliance with the eligibility criteria. Final occupancy permits must date from within the policy duration.

Reimbursements will only be issued upon submission of a final occupancy permit. Temporary or conditional occupancy permits issued under the *Nova Scotia Building Code Act* are insufficient proof of compliance with the eligibility criteria.

Submissions of occupancy permits made before the policy’s amendment or expiration will be assessed under the provisions in effect at the time of submission.

Developers may combine incentives from this policy with other programs, such as affordability or energy efficiency grants, to encourage diverse and inclusive housing developments.

7. Policy Duration

This policy will remain in effect for 36 months from the date Council adopts it. After this time, it will automatically expire unless Council extends its duration.

If Council updates the policy during its effective period, the revised policy will still expire at the end of the original 36-month period, unless Council decides otherwise.

INFORMATION REPORT

Subject: Civic Square Condition Assessment Report Summary

From: Tyson Joyce, Director of Public Works

Date: February 11, 2025



Recommendation

This Staff Report is provided for information purposes only.

Background

The Civic Square Condition Assessments Project was included in the 2024/25 Town Operating Budget. The intention of this Project is to investigate and assess the condition of Town Hall, Old Fire Hall and Electric Light Shop's building envelopes, complete with cost estimates for the discovered scope of work to rectify deficiencies. On September 10, 2024, Council added the Bandstand to the scope of the Project.

The consultants conducted inspections of the four structures in October 2024 and interviewed Town of Lunenburg staff as part of their assessment process. Based on their findings, they prepared draft reports, which were received by staff in December 2024 and January 2025. The final reports were issued in January 2025.

Discussion

A summary of each of the Condition Assessment Reports is below:

i) Bandstand – 125 Cumberland Street

The Bandstand's structural assessment included the structural steel (deck sub-framing, columns and roof beams), timber (decking and guardrail), concrete (pier foundations) and non-structural elements (accessibility, benches, ornamental steel and roof ornament).

Of largest concern is the steel deck sub-framing which is described as being in "very poor condition and replacement is required prior to reopening the Bandstand". Other structural elements recommended for attention are abrasive blasting and re-coating to the steel columns, and replacement/repairs to the wood decking, guardrails and benches. Further suggested items include the inclusion of an accessibility ramp, abrasive blasting repairs and re-coating of the ornamental steel and the reinstallation of a roof ornament.

The Class D estimated cost associated with this scope outlined above is between \$225,000-\$300,000 (excluding considerations for tax, engineering fees, soft costs and material testing costs). It was assumed all the work would be performed in a single phase.

ii) Town Hall – 119 Cumberland Street

The structural assessment of Town Hall included the roofing and roof drainage, exterior brick and stone masonry (including inspection of existing intrusions), windows, exterior doors, stone wall foundations and interior spaces.

The Consultants recommendations focus on restricting the ingress of water and moisture into the building that currently exists. The roof repairs scope includes removal and replacement of sections of modified bitumen roofing and upgrading the joints at tie ins, transitions, windows and copper roofing projections where water is currently entering in rainfall and melt events. The exterior masonry is categorized as in fair condition with localized areas of more severe deterioration requiring rehabilitation and general maintenance. Other recommendations from the assessment include window replacements and foundation waterproofing.

The Class D estimated cost associated with this scope outlined above is between \$1,650,000 - \$2,135,000 (excluding considerations for tax, engineering fees, soft costs and material testing costs). It was assumed that this work could be phased, with the roof repairs the most urgent (within two years) but all items recommended to be performed within the next five years.

With reference to the previous Building Condition Assessment performed in 2022, the repair scope covers similar items to those identified above (roofing, windows and masonry/brickwork). At that time the estimated cost of \$3,383,300 from that Consultant's recommendations (Class C Estimate). The main difference in this previous cost compared to the latest is due to the masonry/brickwork scope, with the cost estimate for this component of work being approximately \$2,647,600 by itself in the 2022 Report.

iii) Old Fire Hall – 40 & 42 Duke Street

The structural assessment for the Old Fire Hall included the foundation walls, exterior brick (including exploratory openings), interior structural clay tile, bay and access doors, windows and the roofing assembly.

The major issue identified in the assessment is the current condition of the roofing membrane. The replacement of the membrane should improve the major source of ingress of water into the building. Other items identified include replacement of waterproofing and flashings, repainting/resealing wooden cornices and framing at windows and doors and localized repointing on brick cladding. There are also further long-term recommendations based on improving the general thermal performance of the building by replacing exterior doors/bay doors and insulation depending on its future intended use for the Town.

The Class D estimated cost associated with this scope outlined above is between \$260,000-\$330,000 (excluding considerations for tax, engineering fees, soft costs and material testing costs). It was assumed that all the short-term recommended work shall be performed in a single phase, with the

thermal improvements optional to the Town.

iv) Electric Light Shop – 107 Cumberland Street

The Consultant reviewed the following items to perform the structural assessment for the Electric Light Shop: foundation walls, exterior brick (including exploratory openings), brick piers, concrete masonry unit walls, bay and access doors, windows and the roofing assembly.

An immediate recommendation has been made to initiate a formal crack monitoring program to better understand the progression (if any) of the visible cracking on the building exterior. Further recommendations are provided for brick rehabilitation and a replacement of a window.

The Class D estimated cost associated with this scope outlined above is between \$22,500-\$30,000 (excluding considerations for tax, engineering fees, soft costs and material testing costs). It is suggested the crack monitoring commence immediately, and the other recommended work is undertaken within the next two (2) years.

Strategic Plan Relevance

Operating Budget Projects are part of the Servicing and Facilities Strategic Direction of the Town’s Comprehensive Community Plan; a town where the long-term infrastructure needs of the community are met through strategic management and incremental, well-phased upgrades that are financially sustainable.

Financial

Although this Staff Report is for information purposes only and there are no financial implications, a summary of the recommendations, timeline and estimated cost range included in the Structural Assessment Reports is provided below:

i) Bandstand

Scope Item	Timeline	Estimated Cost Range
Key Structural & Safety Elements	Immediate to return to operation	\$150,000 - \$200,000
Aesthetic & Accessibility	Optional	\$75,000 - \$100,000
Bandstand Subtotal		\$225,000 - \$300,000

ii) Town Hall

Scope Item	Timeline	Estimated Cost Range
Roofing Repairs	Within 2 years	\$350,000 - \$460,000
Brick Rehabilitation	Within 5 years	\$600,000 - \$700,000
Window Replacements	Within 5 years	\$400,000 - \$575,000
Foundation Waterproofing	Within 5 years	\$300,000 - \$400,000
Town Hall Subtotal		\$1,650,000 - \$2,135,000

iii) Old Fire Hall

Scope Item	Timeline	Estimated Cost Range
Near Term Repairs & Rehabilitation	Within 2 years	\$200,000 - \$250,000
Long Term Repair & Retrofit	Optional	\$60,000 - \$80,000
Old Fire Hall Subtotal		\$260,000 - \$330,000

iv) Electric Light Shop

Scope Item	Timeline	Estimated Cost Range
Crack Monitoring Program	Immediate	\$5,000
Localized Brick Repairs	Within 2 years	\$10,000 - \$15,000
Window Replacement	Within 2 years	\$7,500 - \$10,000
Electric Light Shop Subtotal		\$22,500 - \$30,000

Based on all the Structural/Building Envelope Assessment Reports, the total estimated cost range based on the above is \$2,157,500 to \$2,795,000 (excluding considerations for tax, engineering fees, soft costs and material testing costs). Staff's recommendation is that these estimated costs are used as an order of magnitude rather than anything absolute in terms of the costs of repairs.

Attachments

Consultant's (RJC Engineers) Reports:

- Civic Square Bandstand Structural Condition Assessment – dated January 6, 2025
- Town Hall Building Envelope Condition Assessment – dated January 24, 2025
- Old Fire Hall Building Envelope Condition Assessment – dated January 24, 2025
- Electric Light Shop Building Envelope Condition Assessment – dated January 24, 2025

125 CUMBERLAND STREET

CIVIC SQUARE BANDSTAND STRUCTURAL CONDITION ASSESSMENT

Lunenburg, Nova Scotia



Prepared for:

Town of Lunenburg

177 Cumberland Street
Lunenburg NS B0J 2C0

Prepared by:

RJC Engineers

1701 Hollis Street, Suite 800
Halifax NS B3J 3M8



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EXECUTIVE SUMMARY

As requested, Read Jones Christoffersen Ltd. (RJC) has completed a structural condition assessment of the Civic Square Bandstand located at 125 Cumberland Street in Lunenburg, Nova Scotia for the Town of Lunenburg. The intent of the study was to conduct a visual review of the above-grade portions of the Bandstand to identify any visually obvious deterioration and/or corrosion and determine the likely cause of the noted distress in order to provide recommendations for future repair.

The Bandstand is located between Duke Street and Prince Street on a shared property with Town Hall, the War Memorial and the Civic Square Playground. The Bandstand is a wood and steel structure constructed on concrete pier foundations. The Lunenburg Heritage Society reconstructed the Bandstand in 1987 as a replica to replace the original, which we understand remained until the 1960s.

Based on our visual review, the structural steel beams located below the wood decking are in very poor condition with the remaining structural elements generally in fair to good condition. The structural steel beams were observed to be experiencing severe corrosion with full cross-sectional thickness loss at localized areas of the beam webs and heavy corrosion of beam flanges. Replacement of the deck's steel structure, application of a protective coating on the Bandstand's steel columns and localized wood replacement/repair are required to restore the integrity Bandstand structure and prevent ongoing deterioration.

The table below summarizes the recommended repair options and opinion of probable costs:

SUMMARY OF RECOMMENDED REPAIR		
	Timeline	Cost (Excluding HST)
Key Structural and Safety Elements	Immediately	\$150,000 to \$200,000
All Aesthetic and Accessibility Upgrades	Immediately	\$75,000 to \$100,000
Total Opinion of Probable Construction Cost:		\$225,000 to \$300,000



1.0 INTRODUCTION

Read Jones Christoffersen Ltd. (RJC) was retained by the Town of Lunenburg to perform a structural condition assessment of the Civic Square Bandstand located at 125 Cumberland Street in Lunenburg, Nova Scotia (*Refer to Photo 1 and Photo 2 in Appendix A*) as outlined in our revised proposal dated August 19, 2024. The intent of the review was to conduct a visual review to identify any visually obvious deterioration and/or corrosion deficiencies and determine the likely cause of the noted distress in order to provide recommendations for future repair.

A brief description of the scope of the review undertaken by RJC is as follows:

- .1 Detailed review of existing drawings made available to RJC to familiarize ourselves with the construction of the Bandstand.
- .2 An interview with Town personnel familiar with the history of the structure.
- .3 Visual review of the structural steel structure, wood elements, and concrete pier foundations where accessible from ground level and boom lift to document the existing conditions and identify the presence and extent of any visually obvious deterioration and/or corrosion. To facilitate the review of the Bandstand roof, RJC retained the services of a restoration Contractor to rent and operate a boom lift (i.e. aerial working platform).

Small exploratory holes were drilled to perform a random sampling visual borescope review of the Bandstand roof structure's steel beams that are concealed by tongue and groove ceiling boards. Upon completion of the borescope review, the exploratory holes (approximately ¼" Ø) were sealed with caulking.

The top surface of the roof was not accessed during our review; therefore, a detailed review of the Bandstand's roofing membrane was not performed or included in the scope of work for this assessment.

The date and weather conditions at the time of our visits were as follows:

<i>October 17, 2024,</i>	<i>Clear, 12°C</i>
<i>October 31, 2024,</i>	<i>Clear, 15°C</i>

Leigh Besanger, BEng, P.Eng. performed the assessment for RJC.



This report was prepared in accordance with generally accepted engineering practices. No other warranties, either expressed or implied are made as to the professional services provided under the terms of our contract and included in this report.

Services performed and outlined in this report were based, in part, upon visual observations of the site and attendant structures. Our opinion cannot be extended to portions of the structure that were not reviewed by RJC.

This report is exclusively for the use and benefit of the client identified on the first page of this report and is not for the use and benefit of, nor may it be relied upon by, any other person or entity. The contents of this report may not be quoted in whole or in part or distributed to any person or entity other than the client.

2.0 DESCRIPTION & BACKGROUND

The Bandstand is an approximately 30 ft. tall by 30 ft. wide octagonal structure located east of Town Hall in Lunenburg's Civic Square. This Bandstand was constructed as a replica of the original, which we understand stood until the 1960s. The Lunenburg Heritage Society constructed this iteration of the Bandstand in 1987. It is our understanding no significant repairs or modifications have been performed on the structure since original construction.

Based upon our review of available drawings and documents:

- .1 20" diameter cast-in-place concrete pier foundations were poured on 4 ft. square, 1'-6" thick footings. The concrete piers, eight total, are partially above grade and the footings are fully below grade.
- .2 10" square HSS structural steel columns are anchored to the concrete pier foundations and extend to the underside of the roof's steel beams. Column HSS wall thickness is not indicated on the available drawings.
- .3 The eight steel framing beams of the Bandstand deck are bolted to the columns just above the column baseplates. These beams converge at the centre point of the Bandstand deck with 14" diameter by 1/2" thick steel plates welded to the top and bottom of the beams (*Refer to Photo 3 in Appendix A*). A similar connection detail is shown for the eight steel roof beams.
- .4 C-channel struts are bolted to the deck's sub-framing beams, and C-channels also span from column to column at deck and roof level.
- .5 Drawings indicate nailer boards bolted to the top side of the deck's sub-framing beams and struts, and the underside of the steel roof beams. The 2x4 wood deck and tongue and groove ceiling boards are fastened to these nailers.
- .6 The bell-curved-shaped roof structure above the roof's steel beams is comprised of dimensional lumber consisting of nominal 2"x8" and 2"x10" joists, 2"x4" verticals and 1"x4" braces. The roof deck consists of two layers of 3/8" plywood, 15 lb. building paper, and roof membrane.
- .7 The space below the Bandstand deck is enclosed by vertical trim boards, with one access hatch located on the southeast side (approximately).
- .8 Decorative wood guardrails and bench seating enclose the Bandstand deck, except on the north side, where two wood step platforms provide access to the Bandstand off a concrete pathway.



2.1 DOCUMENT REVIEW

The following partial drawing sets were available for review:

- .1 An undated 4-sheet drawing set titled *Lunenburg Bandstand*, bearing the logo of Lydon Lynch Architects.

2.2 INTERVIEW WITH TOWN PERSONNEL

The following history and information were obtained through interviews with Town of Lunenburg personnel and residents familiar with the Bandstand:

- .1 An inspection by another Consultant and subsequent inspections by Town building officials prompted the Spring 2024 closure of the Bandstand. It is our understanding no formal reporting was provided after the initial inspection by others.
- .2 During our review on October 17, 2024, a resident of the Town passed by and noted that they last painted the Bandstand approximately 15 years ago, in preparation for a wedding, and it was their understanding it has not been painted since.
- .3 The Bandstand deck is not routinely salted during winter months, but potentially de-icing salts have been occasionally used on the deck.

3.0 OBSERVATIONS

This section summarizes our observations of our visual reviews. Our observations will reference the drawings indicated in Section 2.1 and photographs from our reviews, provided in Appendix A.

3.1 STRUCTURAL STEEL

3.1.1 Deck Sub-Framing

The deck's sub-framing structural steel members are in very poor condition and replacement is required prior to reopening the Bandstand. Full cross-section thickness loss was observed in three of the eight beams (*Refer to Photo 4 in Appendix A*). Furthermore, expansive corrosion was noted on beam flanges and corrosion was noted at several connections (*Refer to Photo 5 in Appendix A*). A red primer was noted on the sub-framing structural steel members. Primers are not generally intended to provide any substantial level of long-term corrosion resistance or protection.

3.1.2 HSS Columns

The vertical HSS columns and column baseplates are in fair condition and abrasive blast cleaning and recoating are required to protect the columns for the long term and limit the potential for future corrosion (*Refer to Photo 6 in Appendix A*).

3.1.3 Roof Beams

Based on our random sampling visual borescope review during our boom lift review, the steel roof beams appear in good condition (*Refer to Photo 7 and Photo 8 in Appendix A*). The roof beams are also coated with a red primer. Repairs or application of a protective coating are not considered a requirement at this time.

3.2 WOOD ELEMENTS

3.2.1 Wood Decking

The wood decking generally appears in fair condition but removal and replacement are recommended during the replacement of the underlying structural steel (*Refer to Photo 9 in Appendix A*). No significant rot or deterioration was observed on top or underside surfaces.



3.2.2 Wood Guardrails

The wood guardrails appear in fair condition and could likely be salvaged, locally repaired and repainted. Some balusters were loose or missing, and some cracking was noted in the top and bottom rails (*Refer to Photo 10 and Photo 11 in Appendix A*). In general, the existing guardrails appear to meet the height requirement of 42" prescribed by the building code.

3.3 CONCRETE ELEMENTS

3.3.1 Pier Foundations

Except for some corrosion staining and minor cracking, the visually accessible portions of the concrete pier foundations appear in good condition and no repairs are considered necessary at this time (*Refer to Photo 12 in Appendix A*).

3.4 NON-STRUCTURAL ELEMENTS AND MISCELLANEOUS CONSIDERATIONS

3.4.1 Accessibility Considerations

In alignment with the Town's desire to improve accessibility, it is recommended that a new barrier free ramp be constructed at the existing access to Bandstand (*Refer to Photo 13 in Appendix A*).

3.4.2 Wood Benches

The wood benches around the perimeter of the deck are in fair condition (*Refer to Photo 14 In Appendix A*). Localized repairs and repainting are recommended.

3.4.3 Ornamental Steel

The ornamental steel brackets below the perimeter of the roof are in poor condition (*Refer to Photo 15 and Photo 16 in Appendix A*). Widespread corrosion and peeling paint were noted during our review from the boom lift. Abrasive blast cleaning, recoating, and localized repairs are required to restore aesthetics.



3.4.4 Roof Ornament

The roof ornament shown on the drawings no longer exists (*Refer to Photo 17 in Appendix A*). Replacement is recommended to restore this heritage element.

4.0 CONCLUSIONS/DISCUSSION

Based on the results of our visual review, the observed level of corrosion of the structural steel below the deck has impacted the safe live load carrying capacity of the Bandstand deck and removal and replacement are required before the Bandstand can be reopened to the public. The observed level of corrosion appears due to a high humidity exposure condition acting on unprotected structural steel. Furthermore, any past usage of de-icing salts would have the potential to exacerbate this corrosion.

The level of corrosion observed on the column and column baseplates does not appear to have reached a level to have affected the safe live load carrying capacity; however, abrasive blast cleaning and recoating are recommended to extend the effective service life of the columns.

The Bandstand guardrails also require repair or wholesale removal and replacement, before the Bandstand is reopened. The loose/detached connections and missing balusters pose a potential safety risk.

Repairs to the non-structural elements noted in Section 3.4 are not considered a requirement in order to reopen the Bandstand to the public; however, these localized repairs are recommended to be performed in tandem with the structural repairs to restore the historical aesthetics and limit the potential for ongoing deterioration/corrosion.

5.0 RECOMMENDATIONS

RJC recognizes that the Bandstand holds historical significance and is meaningful to residents and visitors who attend live music, and other gatherings at the Bandstand. Therefore, the recommended options below are presented such that the scope of rehabilitation work may vary depending on the Town's budget constraints. It is understood that the extent of repair could range from repair/replacement of key structural and safety elements required for reopening, to a full rehabilitation program, targeted at repairing the key structural elements plus all aesthetic and accessibility-related repairs.



RJC would be pleased to discuss the best path forward for Bandstand repairs with the Town and, if needed, update our recommendations in a subsequent draft of this letter. In general, the recommended repairs are outlined as follows:

5.1 KEY STRUCTURAL AND SAFETY ELEMENTS

In general, repair of key structural and safety elements includes:

- .1 Removal and temporary storage of the existing wood guardrails, and benches.
- .2 Removal and disposal of the existing wood decking and structural steel beams.
- .3 Abrasive blast cleaning of column and column baseplates. The existing coating should be tested for lead prior to sandblasting and repairs.
- .4 Welding of new connection brackets to columns.
- .5 Application of a new protective coating on the columns (the lower third at a minimum).
- .6 Installation of new corrosion-resistant structural steel beams (hot dipped galvanized, stainless steel, or coated).
- .7 Installation of new wood decking.
- .8 Reinstallation of repaired and repainted guardrails or installation of new.
- .9 Repainting and reinstallation of existing wood benches.

5.2 ALL AESTHETIC AND ACCESSIBILITY UPGRADES

In general, the aesthetic repairs and accessibility upgrades include:

- .1 The installation of a new roof ornament.
- .2 Abrasive blast cleaning, localized repairs, and recoating of the ornamental steel brackets.
- .3 Construction of a new barrier free accessibility ramp at the existing access point.



6.0 OPINION OF PROBABLE CONSTRUCTION COSTS

The following cost estimates presented for the repair of the Bandstand represent our opinion of the probable construction cost based on the limited information obtained during this condition survey assessment. The final costs will not be known until such time that the work is tendered and completed. It is not possible to accurately forecast the final bid unit prices that may be tendered for the work because they are directly related to the construction climate at the time of tendering. The costs noted below should be treated as "ball-park" or Class D¹ (+/- 25%) figures only and cannot be guaranteed accurate.

6.1 KEY STRUCTURAL AND SAFETY ELEMENTS

The probable construction cost for the above-noted repair program, assuming all the work is performed in one phase, is in the order of approximately \$150,000 to \$200,000 plus H.S.T., in 2025 dollars, excluding engineering fees, soft costs, and material testing costs.

6.2 ALL AESTHETIC AND ACCESSIBILITY UPGRADES

The probable construction cost for the above-noted repair program, assuming all the work is performed in one phase, is in the order of approximately \$75,000 to \$100,000 plus H.S.T., in 2025 dollars, excluding engineering fees, soft costs, and material testing costs.

SUMMARY OF RECOMMENDED REPAIR		
	Timeline	Cost (Excluding HST)
Key Structural and Safety Elements	Immediately	\$150,000 to \$200,000
All Aesthetic and Accessibility Upgrades	Immediately	\$75,000 to \$100,000
Total Opinion of Probable Construction Cost:		\$225,000 to \$300,000²

¹ Class "D" probable costs – a statement of general requirements and an outline of a solution (degree of accuracy +/- 25%). Probable Construction Costs are in 2025 dollars and do not include soft costs, engineering fees, material testing, permits or HST unless noted otherwise.

² Opinion of Probable Costs do not include for the remediation, abatement, and disposal of any hazardous materials such as lead paint, asbestos, or otherwise.



7.0 CLOSING REMARKS

Thank you for selecting Read Jones Christoffersen Ltd. for this assessment. At the Town's approval, RJC would be pleased to proceed with design development for our repair recommendations. Should you have any questions or concerns, please do not hesitate to contact this office.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.



Leigh Besanger, BEng, P.Eng.
Building Science and Restoration Engineer

Reviewed by:

A handwritten signature in black ink, appearing to read 'Nigel Parker', written in a cursive style.

Nigel Parker, MEng, P.Eng., LEED® AP BD+C
Principal



APPENDIX A

PHOTOGRAPHS

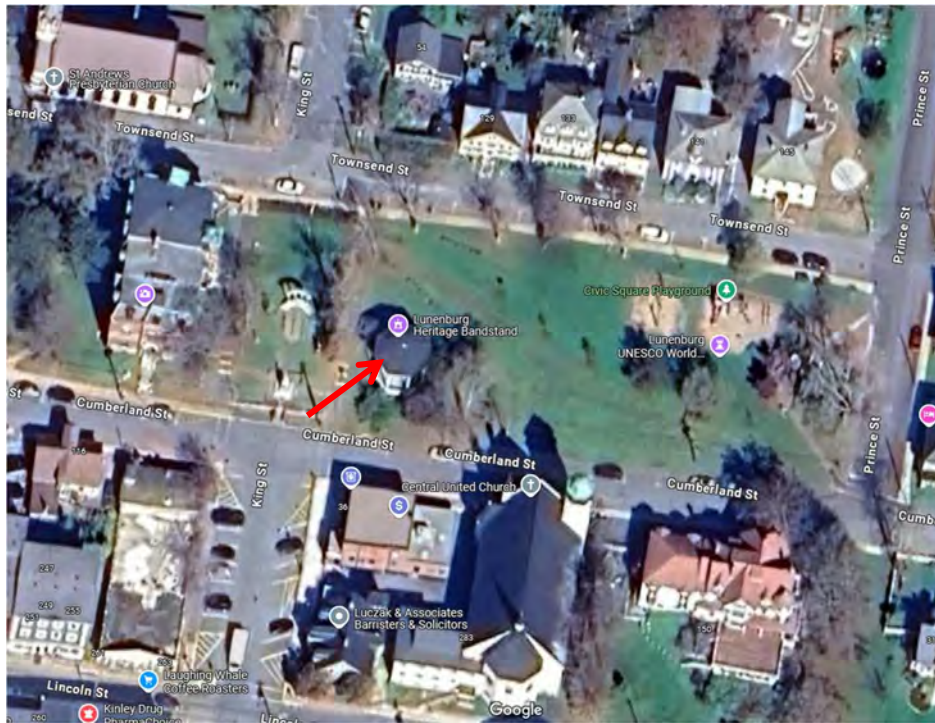


Photo 1: Google Maps aerial view excerpt of the Bandstand located at 125 Cumberland Street



Photo 2: Overview of Bandstand north elevation (facing Cumberland St.)



Photo 3: Underside of central point of deck's structural steel



Photo 4: Full cross-sectional corrosion steel beam web



Photo 5: Corrosion and expansive corrosion by-products on beam flange



Photo 6: Structural steel beam to column connection (typ. at eight locations)



Photo 7: Borescope image of roof steel connection



Photo 8: Borescope close-up image of roof steel beam flange



Photo 9: Overview of wood decking, benches and guardrails



Photo 10: Guardrail with temporary strapping and loose balusters



Photo 11: Section of guardrail with missing baluster



Photo 12: Concrete pier foundation and vertical trim below the Bandstand deck



Photo 13: Access platforms on north side of Bandstand



Photo 14: Overview of wood benches



Photo 15: Peeling paint and corrosion on ornamental steel brackets



Photo 16: Peeling paint and corrosion on ornamental steel brackets



Photo 17: Ornament missing from roof of Bandstand

119 CUMBERLAND STREET

TOWN HALL BUILDING ENVELOPE CONDITION ASSESSMENT

Lunenburg, Nova Scotia



Prepared for:

Town of Lunenburg

177 Cumberland Street
Lunenburg NS B0J 2C0

Prepared by:

RJC Engineers

1701 Hollis Street, Suite 800
Halifax, NS B3J 3M8



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EXECUTIVE SUMMARY

As requested, Read Jones Christoffersen Ltd. (RJC) has completed a building envelope condition assessment of the Town Hall located at 119 Cumberland Street in Lunenburg, Nova Scotia for the Town of Lunenburg. The intent of the study was to conduct a review of the visible and accessible portions of the Town Hall building envelope components to identify any visually obvious areas of leakage, and deterioration to determine the likely cause of the noted distresses in order to provide recommendations for the future repair.

The Town Hall, constructed in 1893 and recognized as a Historical Property, is located between Duke Street and Prince Street on a shared property with the Bandstand, the War Memorial and the Civic Square Playground. Originally a Town Hall and Courthouse, the building now serves as the Town's administrative offices and Council chambers. The Town Hall is a three and a half storey, mass brick structure with a wood framed roof and a stone foundation.

Based on our visual review, the roofing materials are in good to poor condition, the brick exterior is in good to fair condition, the windows and doors are in fair to poor condition, and the foundation is in fair condition. Exploratory exterior brick openings (circa 2022 by others) were reviewed. Various locations of leakage were observed inside Town Hall, and localized areas of building envelope deterioration were noted. Targeted repairs are recommended to restore the integrity of the building envelope and prevent ongoing areas of leakage and structural deterioration.

The table below summarizes the recommended repair options and opinion of probable costs:

SUMMARY OF RECOMMENDED REPAIRS		
	Timeline	Cost (Excluding HST)
Roofing Repairs	Within 2 years	\$350,000 to \$460,000
Brick Rehabilitation	Within 5 years	\$600,000 to \$700,000
Window Replacements	Within 5 years	\$400,000 to \$575,000
Foundation Waterproofing	Within 5 years	\$300,000 to \$400,000
Total Opinion of Probable Construction Cost:		\$1,650,000 to \$2,135,000



2.0 DESCRIPTION & BACKGROUND

The Town Hall is a three and a half storey mass masonry structure, with a wood framed roof and stone foundation constructed in the Second Empire style. Based on historical information available, we understand that the Town Hall is recognized as a Municipally Registered Property within Canada's Historic Places registry, it was designed by architect Henry Busch, construction was finished in 1893, and therefore the building is approximately 131 years old.

We further understand that the building exterior remains substantially original in appearance except for the removal of the clock tower and roof cresting from the east elevation, door modifications/upgrades, replacement of slate roofing with asphalt and modified bitumen, and fire escape upgrades on the Townsend Street frontage.

No drawings were made available; therefore, based upon our visual review, the Town Hall building envelope is generally comprised of:

- .1 Mass brick exterior walls that appear approximately 13" thick (*Refer to Photo 6 in Appendix A*), with projecting pilasters, cut-stone embellishments and masonry arches with granite keystones typical over windows and doorways.
- .2 The punched and dormer windows typically consist of single-pane, wood frame window assemblies, some fitted with aluminum storm windows. Additionally, many windows have been retrofitted to accommodate window-mounted air conditioning units.
- .3 The wood-framed Mansard roof constructed on top of the mass brick exterior walls generally consists of three different roofing materials: asphalt shingle, modified bitumen sheet membrane, and copper (*Refer to Photo 7 and Photo 8 in Appendix A*). Furthermore, dormers and roof projections are detailed and flashed with wood trim, copper cornices, lead flashing, roofing mastic and sealants.
- .4 Gutters appear constructed of galvanized steel sheet metal and are painted black. Downspouts are either copper or PVC and typically terminate at ground level into foundation drain catchments (*Refer to Photo 9, Photo 10 and Photo 11 in Appendix A*).



2.1 DOCUMENT REVIEW

No drawings were made available; however, the following draft report and online references were available to RJC as part of our review:

- .1 Lunenburg Townhall Building Condition Assessment, prepared by Fishburn Sheridan Atlantic Inc. and dated October 24, 2022.
- .2 Standards and Guidelines for the Conservation of Historic Places in Canada, a pan-Canadian collaboration, 2nd Edition. (<https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>)
- .3 Lunenburg Old Town Heritage Conservation District Plan & Bylaw with Design Guidelines, prepared by Bill Plaskett Heritage & Community Planning for the Town of Lunenburg, and dated April 2001. (<https://townoflunenburg.ca/heritage/148-heritage-conservation-district-plan-and-bylaw/file.html>)

2.2 INTERVIEW WITH TOWN PERSONNEL

The following information was obtained through interviews with Town of Lunenburg personnel during our review:

- .1 Administrative, planning, permitting, and building inspection staff occupy the Town Hall building and offices regularly, and Council occupies the chambers and associated rooms semi-regularly.
- .2 The upper floor of Town Hall is largely unoccupied or is used for storage space. We understand that this is partially due to leaks and the overall condition of the rooms.
- .3 In recent years, Town of Lunenburg staff and Council members have expressed concern about the building's condition which has led to discussions on plans for future usage. It is our understanding that these discussions prompted the 2022 Building Condition Assessment by others and this subsequent building envelope condition assessment.

3.0 OBSERVATIONS

This section summarizes our observations of our visual review from ground level, off fire escape stairs, interior spaces, and accessible roof areas. A representative from the Town of Lunenburg facilitated our review of the Town Hall interior spaces and highlighted known areas of leakage, distress, and deterioration. Photographs from our review have been included in Appendix A of this report.

3.1 ROOFING AND ROOFING DRAINAGE

As noted in Section 2.0, the roofing materials appear to be a combination of asphalt shingle, modified bitumen sheet membrane, and copper. Furthermore, dormers and roof projections are detailed and flashed with wood trim, copper cornices, lead flashing, roofing mastic and sealants.

- .1 The asphalt shingles on the roof over the north portion of the building generally appeared newer and in good condition (*Refer to Photo 12 in Appendix A*). However, where this asphalt shingle roof transitions to the various copper roof projections, the roofing mastic tie-ins are deteriorated and in poor condition. These tie-ins are a suspected source of leakage (*Refer to Photo 13 in Appendix A*).
- .2 The asphalt shingles on the steeply sloped faces of the Mansard roof and roofing terminations around the dormer windows and projections generally appeared to be in poor condition (*Refer to Photo 8 in Appendix A*). From inside, black roofing paper exists around the window frames (*Refer to Photo 14 in Appendix A*). Typical construction practices would suggest that this building paper was installed on the Mansard roof prior to installation of the existing asphalt shingles.
- .3 The modified bitumen sheet membrane is in fair condition and appears to be nearing the end of its effective service life (*Refer to Photo 7 in Appendix A*). The granulation is showing signs of wear and localized liquid-applied membrane patch repairs were noted. Additionally, the various tie-ins and terminations appeared in poor condition and are a suspected source of leakage (*Refer to Photo 15 in Appendix A*).
- .4 The copper roof elements were generally inaccessible for up close review, but where visible, appear to remain in fair condition with some corrosion staining (*Refer to Photo 16 in Appendix A*). As noted above, the roofing mastic tie-ins around the copper roof projections appeared in poor condition and are a suspected source of leakage (*Refer to Photo 13 in Appendix A*).
- .5 The gutters appeared in fair condition but the paint finish is peeling and the leaf screens are deformed and detached in some areas (*Refer to Photo 9 in Appendix A*).

- .6 The downspouts are in fair condition but it was noted that several of the anchors and strapping affixing the downspouts to the building have pulled/failed (*Refer to Photo 17 in Appendix A*).

3.2 EXTERIOR BRICK AND STONE MASONRY

Overall, the exterior brick and stone masonry of the Town Hall are in fair condition with localized areas of deterioration observed.

- .1 It is evident that modifications, repairs and replacement have been performed over the years, particularly adjacent to the building entrances (*Refer to Photo 18, Photo 19 and Photo 20 in Appendix A*). In addition to colour and texture differences between brick and mortar, polyurethane sealant was observed at the joints between the different vintages of brick. The sealant appeared in fair to poor condition with some crazing and cohesive tears visible (*Refer to Photo 21 and Photo 22 in Appendix A*).
- .2 Localized areas of brick deterioration were noted at various locations around the building but appeared mostly concentrated on the northwest corner pilaster, along the full height of the downspout on the west elevation, between the horizontal stone embellishments on the west elevation (below the second storey), and on and adjacent to the southwest corner pilaster. Deterioration was observed in the form of loose and missing mortar joints, cracked brick, craze cracking and spalled brick faces (*Refer to Photo 23, Photo 24, Photo 25 and Photo 26 in Appendix A*).
- .3 Run-off and organics staining were noted on the exterior brick and stone surfaces in a few areas. Notable areas of staining included the east face of the pilaster east of the Cumberland Street entrance, north of the east elevation entrance, and on north elevation surfaces adjacent to the steel fire escape stairs (*Refer to Photo 27, Photo 28 and Photo 29 in Appendix A*).
- .4 Efflorescence was observed on exterior brick surfaces, but it does not appear to be a widespread issue or concern (*Refer to Photo 30 in Appendix A*).
- .5 Some exterior brick surfaces appeared bowed and out of plumb, notably, at the top of the northwest corner pilaster (*Refer to Photo 31 in Appendix A*).

3.3 EXISTING EXPLORATORY OPENINGS IN EXTERIOR BRICK

Several exploratory openings exist in the brick exterior. It is our understanding that these openings were created by others during a 2022 assessment (*Refer to Photo 11 in Appendix A*). With the assistance of a



restoration Contractor, the temporary red-painted plywood coverings were removed for RJC's review at the following three existing openings:

- .1 On the north face of the northwest corner pilaster (*Refer to Photo 32 in Appendix A*).
- .2 Adjacent to the downspout at the approximate mid-point of the west elevation (*Refer to Photo 33 in Appendix A*).
- .3 On the south elevation of the building, adjacent to the southeast corner pilaster (*Refer to Photo 34 in Appendix A*).

We observed the following at these openings:

- .1 One wythe of brick was removed to expose the wythe behind and wood was installed to re-support the outer wythe of brick at the openings.
- .2 No visually obvious indications of deterioration were observed within the openings that were uncovered.

Note, after our review, the ports were closed and sealed.

3.4 WINDOWS

Given their age, the single pane wood framed windows appeared in fair condition.

- .1 Some wood, paint and sealant deterioration were noted on the exterior window frames, sashes and sills. Where noted on the inside of the windows, failing paint finish and wood deterioration are likely due to interior condensation (*Refer to Photo 35 and Photo 36 in Appendix A*).
- .2 From inside the Mansard roof attic space, "daylighting" was observed around some of the window frames indicating discontinuities in the water and air control layers (*Refer to Photo 37 in Appendix A*).
- .3 Newer vinyl and aluminum frame windows were noted in the unoccupied space located above the Council chambers (*Refer to Photo 38 in Appendix A*). It is unknown when these windows were replaced.
- .4 Cracked panes were noted in a few locations which should be replaced (*Refer to Photo 39 in Appendix A*).

3.5 EXTERIOR DOORS

In general, the exterior doors remain in fair condition but in the vicinity of the door openings, moisture ingress issues are evident.

- .1 At the south elevation Cumberland Street and east elevation entrances, peeling and blistered paint and extensive deterioration to interior finishes (plaster, trim, mouldings etc.) have occurred as a result of moisture ingress which is suspected to be occurring at the joints between different vintages of brick and areas of deteriorated sealant (*Refer to Photo 40 and Photo 41 in Appendix A*).
- .2 The fire escape exit at the top of the steel stairs on the north elevation, leakage staining and deterioration were noted on interior finishes (*Refer to Photo 42 in Appendix A*).

3.6 STONE FOUNDATION WALLS

Where visible and accessible in the basement, the interior surfaces of the stone foundation walls appeared in fair condition (*Refer to Photo 43 in Appendix A*).

- .1 The basement appeared dry during our review; however, we understand that moisture ingress into the basement is a common occurrence, and indications of leakage were noted. Given the void spaces between the stones of the foundation walls, and the likelihood that waterproofing materials are not installed on the exterior surfaces of the stone foundation walls, it is anticipated that moisture ingress into the basement will persist unless addressed.
- .2 Parging materials installed on the interior surfaces of the stone foundation walls in localized areas appeared in poor condition from ongoing moisture ingress (*Refer to Photo 44 in Appendix A*).
- .3 The basement bulkhead hatch appeared unsealed at ground level (*Refer to Photo 45 in Appendix A*).

3.7 INTERIOR SPACES

Representative areas of the building interior were reviewed for signs of deterioration related to leakages and deficiencies in the building envelope.

- .1 Cracking was observed on interior plaster wall and ceiling surfaces which is expected for a building of this age and type (*Refer to Photo 46 and Photo 47 in Appendix A*).



- .2 Extensive deterioration from leakage was noted in the unoccupied space on the top floor on the north side of the building (*Refer to Photo 48, Photo 49 and Photo 50 in Appendix A*).
- .3 Moderate deterioration from leakage was noted in plaster finishes inside the Council chambers and various office spaces inside the building (*Refer to Photo 51 and Photo 52 in Appendix A*).
- .4 The above noted deterioration due to leakages/moisture ingress appears to directly translate to the condition of the roofing materials at the tie-in and termination locations between different types of roofing materials, around dormer windows, and at the various copper roof projections.



4.0 CONCLUSIONS/DISCUSSION

Based on the results of our visual review, the Town Hall building envelope appears to be in fair to poor condition and repair and rejuvenation are needed in the near term to limit the potential for future building envelope deterioration, structural deterioration, and ongoing leaks into the building.

The tie-ins, terminations, and transitions between the various roofing materials, around dormer windows and copper roof projections appear in poor condition, susceptible to moisture ingress and no longer performing as intended. Furthermore, the modified bitumen roofing over the south portion of the building appears deteriorated and nearing the end of its effective service life.

The asphalt shingle roofing over the north portion of the building appears newer and in good condition and repairs do not appear necessary at this time. However, the asphalt shingles on the steeply sloped surfaces of the Mansard roof faces appear deteriorated and in fair to poor condition.

The mass brick walls are experiencing localized deterioration in the form of loose and missing mortar joints, cracked masonry, and craze cracking and spalling on brick faces. This deterioration appears concentrated at the northwest and southwest corner pilasters, and in various areas on the west elevation, with other lesser areas of deterioration noted on the other elevations of the building.

With the exception of a few cracked panes and some deterioration on the wood framing, sashes and sills, the windows are performing as intended given their age. The thermal performance will remain limited due to single-pane construction and regardless of rejuvenation efforts but could be improved with wood window replacement using dual-glazed windows to retain the heritage aesthetic. Furthermore, the addition of external wood storm windows may also be considered as part of a window rehabilitation program, depending on heritage constraints.

While the doors appear in good to fair condition, moisture ingress is occurring in the vicinity of the east and south elevation doors, and the third storey fire escape door. Deterioration will persist and progress until the water and air control layers are rectified.

Although the basement appeared dry during our review, we understand moisture ingress is an ongoing issue, and evidence of previous leakage was noted which indicates a lack or failure of an existing waterproofing system.

5.0 RECOMMENDATIONS

The most cost-effective approach with respect to construction would be to undertake the Town Hall rehabilitation in a single project; however, we understand that budget constraints may dictate that this work be phased over several years. Based on the observed levels of deterioration, we recommend that phasing not exceed 5 years and follow a sequential top down approach, with priority placed on completing the roofing repairs within 2 years, followed by brick rehabilitation, window replacements, and foundation waterproofing in the next 5 years. Under this repair strategy, the largest suspected contributors to moisture ingress are prioritized; therefore, the potential for building envelope and structural deterioration to occur at an accelerated rate is reduced. This repair strategy is proven to produce more long-term, durable repairs.

5.1 ROOFING REPAIRS

It is recommended that the existing modified bitumen roofing on the low slope portions be removed and replaced along with the replacement and upgrade of the tie-ins and terminations at all transitions between the various roofing materials, around dormer windows and copper roof projections.

A detailed destructive investigation was not completed on the copper roofing elements; however, due to the extent of recommended roofing rehabilitation, it may be advantageous to repair or replace the copper during the same phase of work to take advantage of economies of scale. Should replacement of the copper be required, new copper or colour-matched aluminum roofing materials are potential options, depending on heritage constraints.

Likewise, for the asphalt shingles on the steeply sloped Mansard roof faces, while repairs are being performed at dormer window tie-ins and terminations, it may be advantageous to replace the asphalt shingles at this time.

5.2 BRICK REHABILITATION

It is recommended that a widespread brick cleaning and targeted brick rehabilitation program be executed to address staining and areas of concern such as deteriorated mortar joints, cracked and spalled brick masonry units, and deteriorated sealants. As noted in Section 3.2, concentrations of brick deterioration exist at the northwest and southwest corner pilasters and elsewhere on the west elevation. Furthermore, brick and sealant repairs should target known areas of moisture ingress at Cumberland Street and east elevation entrances.



5.3 WINDOW REPLACEMENTS

It is recommended that all windows be replaced with insulated glass units (IGUs) to improve thermal performance and air tightness. However, we understand that rehabilitation with dual-glazing may be limited depending on heritage constraints. Although new windows can be specified to replicate the appearance of the existing windows using wood framing, it is anticipated that wholesale removal and replacement will have the greatest impact, of all of the presented recommendations, on the overall appearance of the building.

5.4 FOUNDATION WATERPROOFING

In order to limit the likelihood of future leakage and the associated structural deterioration of the foundation, we recommend that a waterproofing system be installed on the exterior perimeter surfaces of the stone foundation walls. In general, a new waterproofing system would include protection and drainage boards, an option for rigid insulation and improvements to the foundation drainage system if needed.

It is recommended that moisture and air control layers be re-established around the bulkhead hatch, this could be executed as part of the foundation waterproofing work, or as stand-alone rehabilitation.



6.0 OPINION OF PROBABLE CONSTRUCTION COSTS

The following cost estimates presented for the Town Hall building envelope repairs and rejuvenation represent our opinion of the probable construction cost based on the limited information obtained during this condition survey assessment. The final costs will not be known until such time that the work is tendered and completed. It is not possible to accurately forecast the final bid unit prices that may be tendered for the work because they are directly related to the construction climate at the time of tendering. The costs noted below should be treated as “ball-park” or Class D¹ (+/- 25%) figures only and cannot be guaranteed accurate.

The following opinions of the probable construction cost are presented as follows:

6.1 ROOFING REPAIRS

The probable construction cost for the roofing repairs, assuming all the work is performed in one phase, is in the order of approximately \$350,000 to \$460,000 plus H.S.T., in 2025 dollars, which includes a recommended contingency allowance of \$50,000 to \$60,000 for copper roofing repairs, but excludes engineering fees, soft costs, and material testing costs.

6.2 BRICK REHABILITATION

The probable construction cost for a brick rehabilitation program, assuming all the work is performed in one phase, is in the order of approximately \$600,000 to \$700,000 plus H.S.T., in 2025 dollars, excluding engineering fees, soft costs, and material testing costs.

6.3 WINDOW REPLACEMENTS

The probable construction cost for a window replacement program, assuming all the work is performed in one phase, is in the order of approximately \$400,000 to \$575,000 plus H.S.T., in 2025 dollars, excluding engineering fees, soft costs, and material testing costs. Please note that window replacement costs are variable depending on the specific composition of window replacements and the level of window frame deterioration when the work is performed.

¹ Class “D” probable costs – a statement of general requirements and an outline of a solution (degree of accuracy +/- 25%). Probable Construction Costs are in 2025 dollars and do not include soft costs, engineering fees, material testing, permits or HST unless noted otherwise. Furthermore, probable costs do not include any direct or indirect costs associated with potential trade tariffs, as the impact referpotential trade tariffs will have on the costs for the recommended repairs cannot be accurately forecasted.



6.4 FOUNDATION WATERPROOFING

The probable construction cost for a foundation waterproofing program, assuming all the work is performed in one phase, is in the order of approximately \$300,000 to \$400,000 plus H.S.T., in 2025 dollars, excluding engineering fees, soft costs, and material testing costs.

SUMMARY OF RECOMMENDED REPAIRS		
	Timeline	Cost (Excluding HST)
Roofing Repairs	Within 2 years	\$350,000 to \$460,000
Brick Rehabilitation	Within 5 years	\$600,000 to \$700,000
Window Replacements	Within 5 years	\$400,000 to \$575,000
Foundation Waterproofing	Within 5 years	\$300,000 to \$400,000
Total Opinion of Probable Construction Cost:		\$1,650,000 to \$2,135,000²

² Opinion of Probable Costs do not include for the remediation, abatement, and disposal of any hazardous materials such as lead, asbestos, or otherwise.



7.0 CLOSING REMARKS

Thank you for selecting Read Jones Christoffersen Ltd. for this assessment. RJC would be pleased to assist you with the implementation of our recommendations. Should you have any questions or concerns, please do not hesitate to contact this office.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.



Leigh Besanger, BEng, P.Eng.
Project Engineer

Reviewed by:

A handwritten signature in black ink that reads 'J.D. Rowe'.

Duncan Rowe, BAsC, MEng, P.Eng., LEED® AP, BECxP, CPHC
Principal



APPENDIX A

PHOTOGRAPHS



Photo 1: Google Maps aerial view excerpt of the Town Hall located at 119 Cumberland Street



Photo 2: Overview of Town Hall north elevation (Townsend Street entrance)



Photo 3: Overview of Town Hall east elevation



Photo 4: Overview of Town Hall south elevation (Cumberland Street Entrance)



Photo 5: Overview of Town Hall west elevation



Photo 6: Approximate thickness at the top of west elevation brick mass wall



Photo 7: Newer asphalt shingle roofing, modified bitumen sheet membrane, copper roof projection. Note localized liquid-applied patch repairs



Photo 8: Stained asphalt shingle roofing around dormer window on steeply sloped Mansard roof face and failing window framing paint finish (north elevation)



Photo 9: Close up of gutter with failing paint finish and deformed and detached leaf screen



Photo 10: Copper downspout (note discontinuity)



Photo 11: PVC downspout terminating below-grade



Photo 12: Newer asphalt shingles on north portion of roof



Photo 13: Roofing mastic tie-in in poor condition at transition between asphalt shingles and copper



Photo 14: Building paper terminating inside attic/storage space at window opening



Photo 15: Modified bitumen roofing termination below asphalt shingle roofing



Photo 16: Copper dome roof located above north elevation Townsend Street entrance



Photo 17: Pulled/failed anchor for downspout strapping



Photo 18: Existing brick repair areas near west elevation entrance



Photo 19: Existing brick repair areas near south elevation Cumberland Street entrance



Photo 20: Existing brick repair areas near east elevation entrance



Photo 21: Sealant between different vintages of brick with cohesive tears



Photo 22: Sealant between different vintages of brick with crazing



Photo 23: Close up of brick cracking and deterioration at northwest corner pilaster



Photo 24: Close up of brick cracking and deterioration along west elevation



Photo 25: Overview of mortar joint deterioration in vicinity of west elevation downspout



Photo 26: Overview of brick face spalling near southwest corner pilaster on west elevation

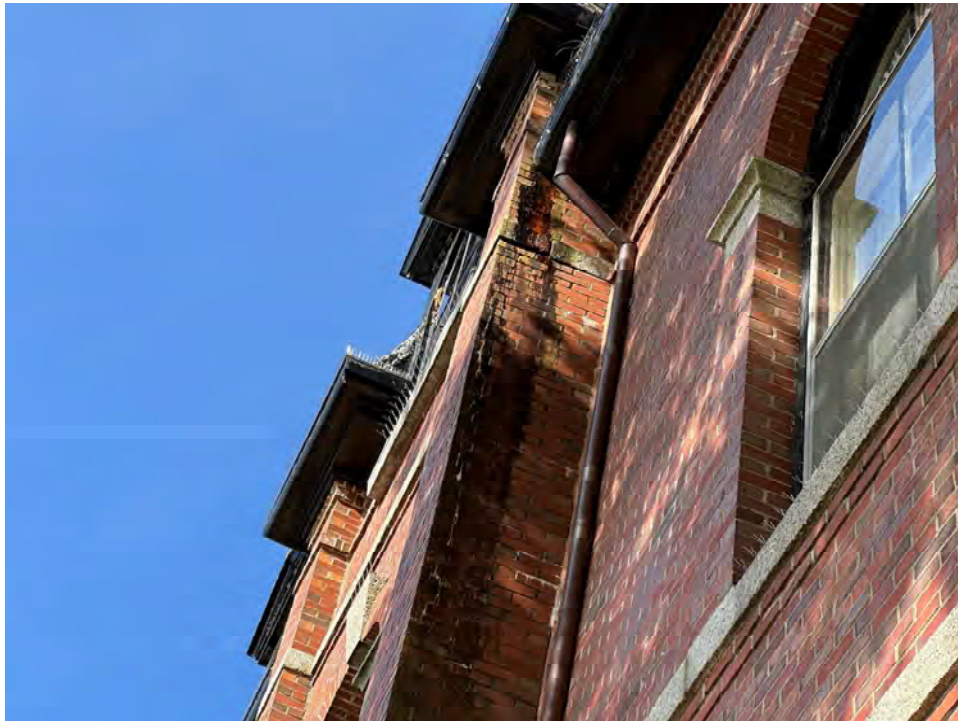


Photo 27: Overview of staining from gutter run-off on south elevation Cumberland Street entrance

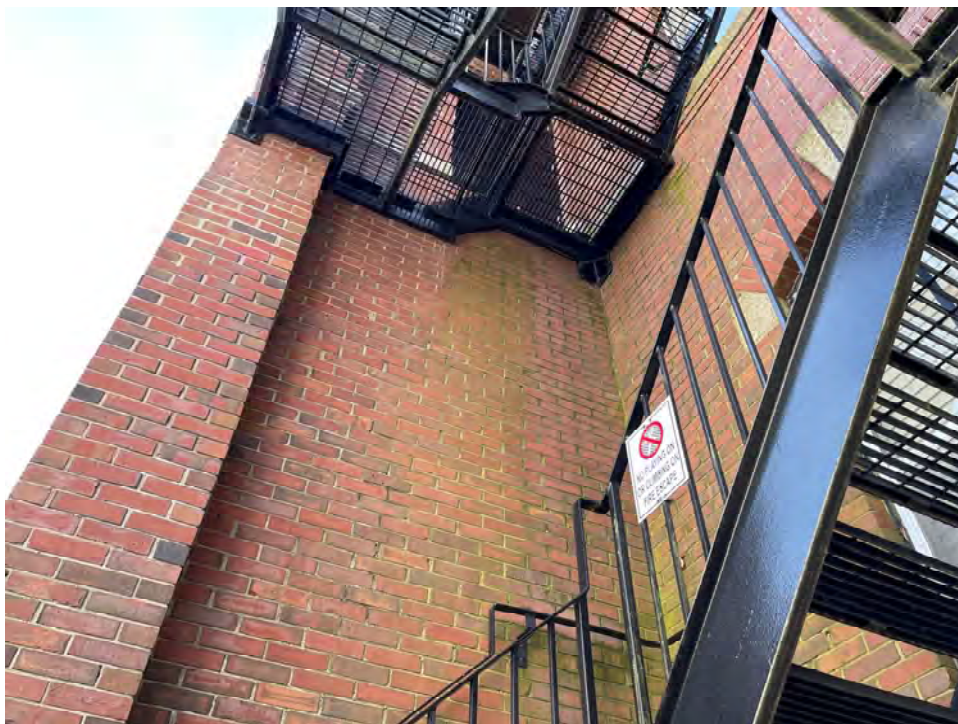


Photo 28: Overview of organics staining below fire escape stairs on north elevation Townsend Street entrance



Photo 29: Overview of run-off and organics staining below gutter likely from overflow

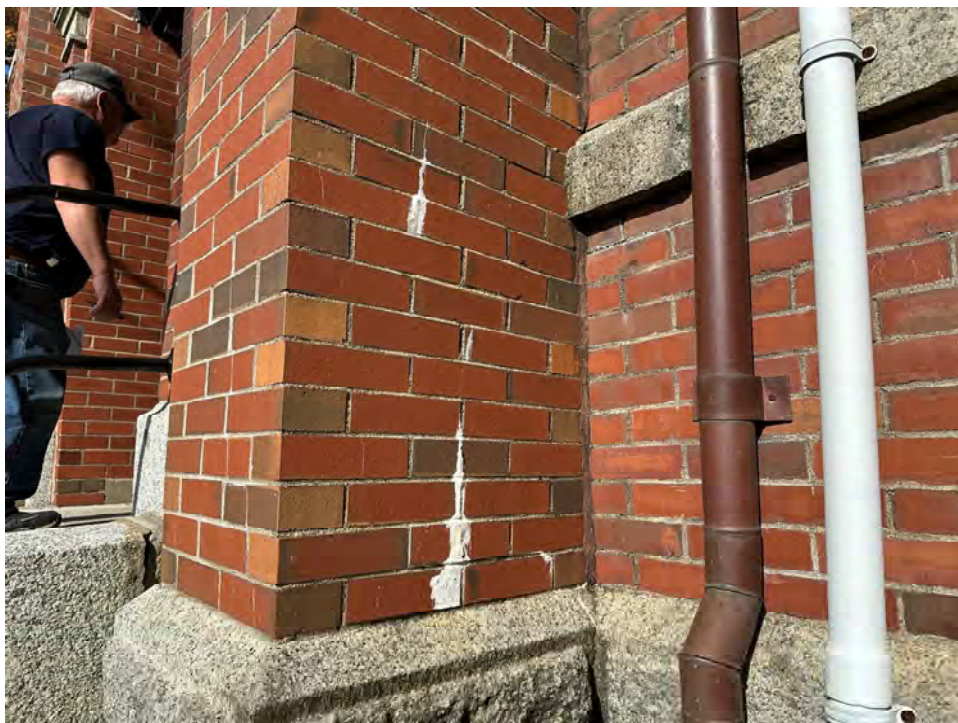


Photo 30: Efflorescence on pilaster adjacent to south elevation Cumberland Street entrance



Photo 31: Slight bow at top of northwest corner pilaster



Photo 32: Exploratory opening on north face of northwest corner pilaster by others and reopened for RJC review



Photo 33: Exploratory opening on west elevation by others and reopened for RJC review



Photo 34: Exploratory opening on south elevation by others and reopened for RJC review



Photo 35: Peeling paint and deterioration on wood window, likely from condensation



Photo 36: Peeling paint and deterioration of exterior wood detailing above retrofit vinyl window



Photo 37: Daylight at window opening in attic/storage space



Photo 38: Newer vinyl windows in an unoccupied room on north side of third floor (typ. at four dormers)



Photo 39: Cracked pane on second floor office window on west elevation



Photo 40: Moisture ingress deterioration above south elevation Cumberland Street entrance



Photo 41: Moisture ingress deterioration above east elevation entrance

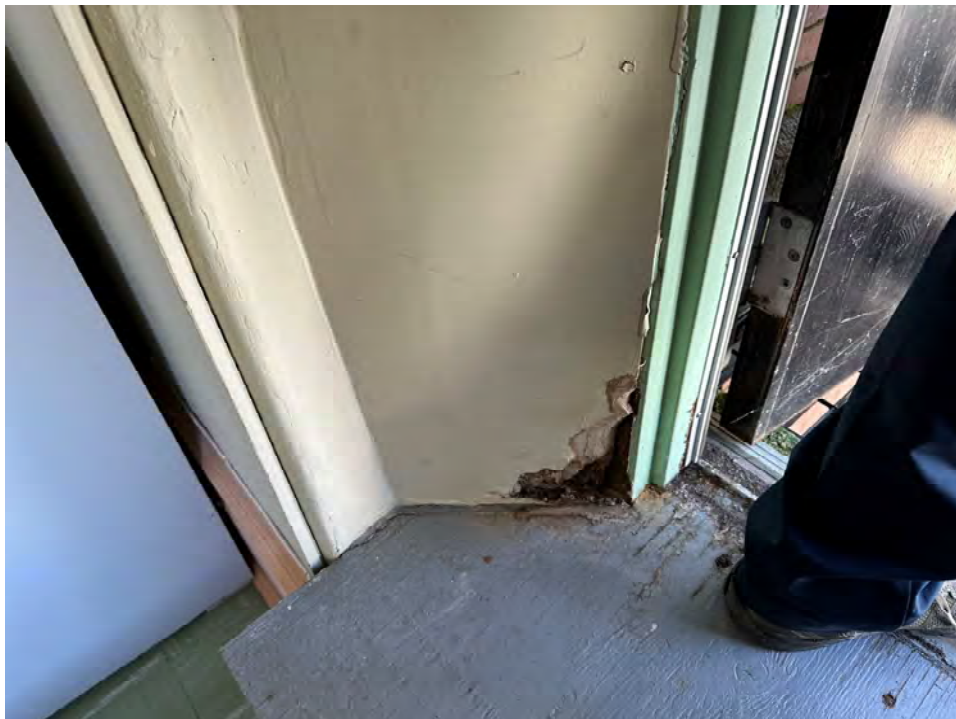


Photo 42: Moisture ingress deterioration at third storey fire escape door



Photo 43: Stone foundation wall



Photo 44: Deteriorated parging material on stone foundation wall



Photo 45: View from inside basement bulkhead hatch with daylight indicating no air or water seal in areas



Photo 46: Cracking on ceiling inside building (typ. at several locations)



Photo 47: Cracking on ceiling inside building (typ. at several locations)

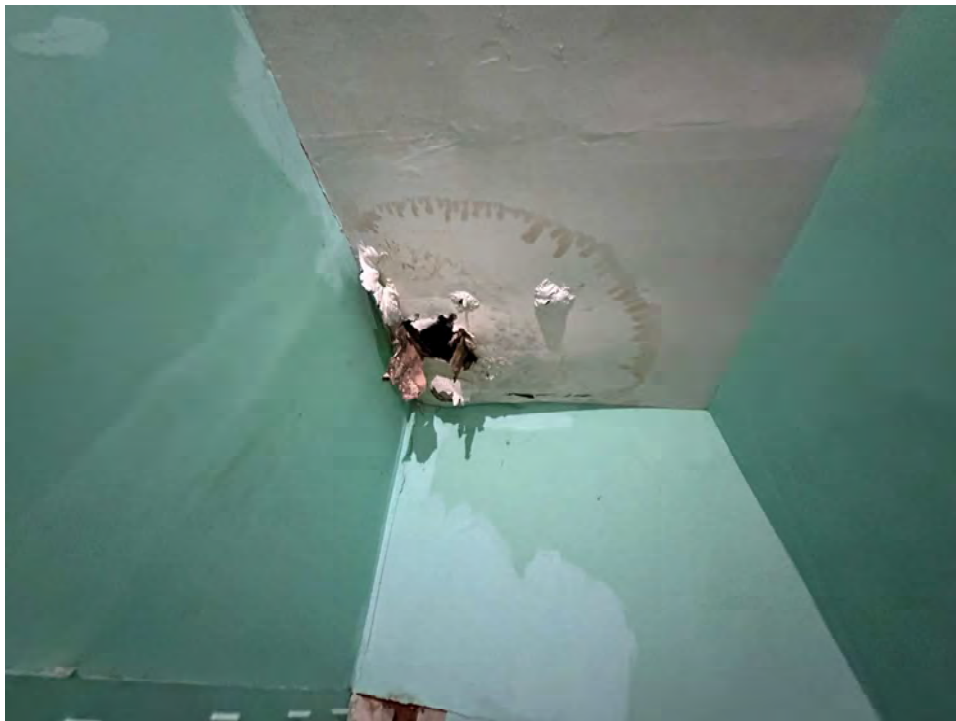


Photo 48: Deterioration from moisture ingress on third floor unoccupied space



Photo 49: Deterioration from moisture ingress on third floor unoccupied space



Photo 50: Deterioration from moisture ingress at dormer window on third floor unoccupied space



Photo 51: Deterioration from moisture ingress on second floor in Council chambers

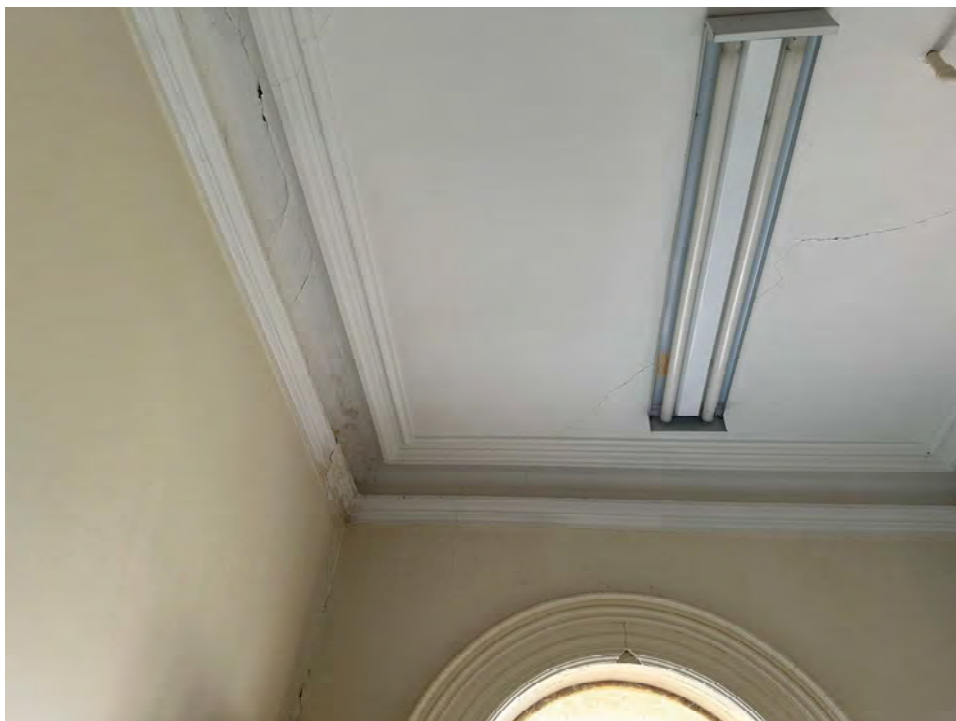


Photo 52: Deterioration from moisture ingress on third floor

40 & 42 DUKE STREET

OLD FIRE HALL BUILDING ENVELOPE CONDITION ASSESSMENT

Lunenburg, Nova Scotia



Prepared for:

Town of Lunenburg

177 Cumberland Street
Lunenburg NS B0J 2C0

Prepared by:

RJC Engineers

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EXECUTIVE SUMMARY

As requested, Read Jones Christoffersen Ltd. (RJC) has completed a building envelope condition assessment of the Old Fire Hall located at 40 & 42 Duke Street in Lunenburg, Nova Scotia for the Town of Lunenburg. The intent of the study was to conduct a review of the visible and accessible portions of the Old Fire Hall building envelope components to identify any visually obvious areas of leakage, and deterioration to determine the likely cause of the noted distresses in order to provide recommendations for the future repair.

The Old Fire Hall, constructed in 1928, is located on the east side of Duke Street, between Townsend Street and Cumberland Street. It is a two storey, structural clay tile and brick structure with concrete foundation walls and footings, and a flat wood truss roofing system. We understand that the building has been vacant since late 2021.

Based on our visual review, the brick exterior is in good to fair condition, the roofing materials appear in poor condition, and the windows and doors appear in good to fair condition. Two exploratory brick openings were reviewed to determine the condition and composition of the building envelope. Various locations of leakage were observed inside the Old Fire Hall, and localized areas of brick deterioration and mortar step cracking were noted. Repairs should be targeted based on the intended future use of the building, but at a minimum, the roofing membrane requires replacement, the wood cornices should be repaired and repainting and resealing should be done at window and door frames in the near-term to limit leaks and prevent structural deterioration.

The table below summarizes the recommended repair options and opinion of probable costs:

SUMMARY OF RECOMMENDED REPAIR		
	Timeline	Cost (Excluding HST)
Near-Term Repairs and Rehabilitation	Within 2 years	\$200,000 to \$250,000
Long-Term Repair and Retrofit Considerations	TBD	\$60,00 to \$80,000
Total Opinion of Probable Construction Cost:		\$260,000 to \$330,000



2.0 DESCRIPTION & BACKGROUND

The Old Fire Hall is a two storey, structural clay tile and brick structure with concrete foundation walls and footings, and a flat wood truss roofing system. Available drawings are undated but a stone engraving on the southwest corner of the building indicates: constructed circa 1928, built by R.E. Corkum, and designed by Leslie R. Fairn Architects. We understand that the building was most recently occupied by the Nova Scotia College of Art and Design (NSCAD) until 2021 but their lease was not renewed and the building has been vacant since.

Based upon our review of available drawings and our visual review, the Old Fire Hall building enclosure is generally comprised of:

- .1 The building footprint is approximately 3,400 sq. ft. overall.
- .2 Approximately 16" thick concrete foundation walls. No reinforcing steel is detailed on the drawings.
- .3 4" thick exterior brick cladding, with a multi-wythe structural clay tile back up wall.
- .4 Wood-framed windows and doors.
- .5 The original or existing roofing membrane type is not indicated on available drawings, but we understand the wood truss roof system was re-strengthened in 2017 by others.

2.1 DOCUMENT REVIEW

The following drawing sets were provided to RJC as part of our review:

- .1 Firemens Building, Lunenburg, N.S. drawings, prepared by Leslie R. Fairn Architects and undated.
- .2 Roof Strengthening Old Fire Hall, Lunenburg Issued for Tender Drawings, prepared by Eastpoint Engineering and dated May 24, 2017.

2.2 INTERVIEW WITH TOWN PERSONNEL

The following information was obtained through interviews with the Town of Lunenburg personnel during our review:

- .1 The Town of Lunenburg is considering the future use of this building with potential options including office space, workshop space and/or storage space.

3.0 OBSERVATIONS

This section summarizes our observations of our visual review from ground and roof level, and interior spaces. A representative from the Town of Lunenburg facilitated our review of the interior spaces and highlighted known areas of leakage, distress, and deterioration. Photographs and key figures from our review have been included in Appendix A of this report.

3.1 FOUNDATION WALLS

- .1 The above grade surfaces of the concrete foundation wall appeared in good condition, as visible from the building exterior and basement area.

3.2 EXTERIOR BRICK

- .1 Overall, the exterior brick masonry cladding of the Old Fire Hall remains in good condition with localized areas appearing in fair condition. Localized deterioration was observed in the form of brick cracking and mortar joint step cracking. Touch-up sealant repair attempts were noted at areas of step cracking which is not a recommended repair method (*Refer to Photo 4 to Photo 5 in Appendix A*).
- .2 The brick masonry cladding is constructed in a common bond pattern with five stretcher courses and one header course spaced every sixth course (*Refer to Photo 6 in Appendix A*).
- .3 It appears that the brick masonry cladding is intended to be a mass wall system that is undrained and face-sealed.
- .4 Brick-infilled openings exist on the lower portion of the north elevation. Soldier course brick exists above these openings and it is evident that mortar was installed over the lintel shelf angles (*Refer to Photo 6 in Appendix A*).
- .5 The configuration of the west elevation bay doors has been altered since original construction. Bricks dissimilar in appearance, exist around the four bay doors – the original drawings show three bay doors with windows in between (*Refer to Figure 1 and Photo 2 in Appendix A*).



3.3 STRUCTURAL CLAY TILE

- .1 Where visible from inside the building, the structural clay tiles appeared in good condition. No areas of significant cracking or deterioration were noted (*Refer to Photo 7 in Appendix A*).
- .2 Where visible, the typical structural clay tile bond pattern appeared to alternate between two courses on edge, and one course on bed (*Refer to Photo 7 in Appendix A*). Available drawings indicate the ground level wall thickness as 16", the second floor wall thickness as 12", and the attic space wall thickness as 8". As such, in addition to the exterior brick masonry and air space, the ground floor likely has three wythes of structural clay tile, the second floor wall has two, and the attic space wall one wythe.
- .3 The original drawings detail plaster installed on the structural clay tiles inside the building. No insulation is shown on the drawings and based on our visual survey, the original wall thicknesses appear to correspond to existing conditions.

3.4 BAY AND ACCESS DOORS

- .1 There are four bay doors on the west elevation and one bay door on the east elevation and they all appeared in fair condition, and it is our understanding they perform as intended (*Refer to Photo 8 in Appendix A*). However, if the Town is considering converting this building to occupied space, it is anticipated that these doors will negatively affect the overall thermal performance of the building and the general comfort of the occupants.
- .2 Two access doors exist off Duke Street (west elevation), one exists off Townsend Street (north elevation), and two exist off the rear (east elevation).
- .3 Except for the north elevation door which appeared newer and in good condition, the other older doors were observed to be in fair to poor condition. Furthermore, the wood door frames at all locations need rejuvenation, resealing and repainting (*Refer to Photo 9, Photo 10 and Photo 11 in Appendix A*).

3.5 WINDOWS

- .1 The vinyl windows throughout the building appear newer and in good condition. However, the vinyl windows were installed into the original wood window openings which are in poor condition and require repairs, resealing and repainting (*Refer to Photo 12 and Photo 13 in Appendix A*).

3.6 ROOFING ASSEMBLY

- .1 The existing roof membrane, which appeared to be a modified bitumen sheet roofing overlain with a liquid-applied membrane, appeared deteriorated and in poor condition. Blistering, debonded areas and alligator cracking were noted and tie-ins at roof projects also appeared deteriorated (*Refer to Photo 14, Photo 15 and Photo 16 in Appendix A*). Given the recent investment into roof re-strengthening, it is recommended that the roofing membrane be removed and replaced to protect the underlying structural system and prevent leaks into the building.
- .2 From ground level, failing paint finish and areas of splitting and warping were noted on the underside of the wood cornices on the north, west and south elevation walls (located approximately 600 mm below the roof edge) (*Refer to Photo 17 in Appendix A*). The top surfaces of the cornices were not accessible for our review, but based on how the cornices are detailed on the original drawings, there is the potential for moisture ingress into the wall assembly if waterproofing and watershed are not maintained on the cornices (*Refer to Figure 2 in Appendix A*).

3.7 EXPLORATORY OPENINGS IN EXTERIOR BRICK

Two exploratory openings were created in the brick cladding to allow for a localized sample review of the concealed elements of the building enclosure (*Refer to Photo 18 and Photo 19 in Appendix A*). The exploratory openings were approximately 24" by 18" in size and were performed to examine the condition and composition of the building envelope.

- .1 In general, the condition and composition at both exploratory openings were observed to be the same. The following wall construction was observed (from exterior to interior):
 - Clay masonry brick (4")
 - Air space (1/2")
 - Structural clay tile back up wall (thickness varies)
- .2 Membrane was not observed on the structural clay tile back up wall at either exploratory opening.
- .3 Brick ties were not observed at either opening exploratory openings, which is typical for brick mass masonry cladding constructed with the observed bond pattern.
- .4 The removed brick was reinstated.



4.0 CONCLUSIONS AND RECOMMENDATIONS

Based on the results of our visual review, the Old Fire Hall building envelope appears in fair condition with the existing roofing membrane and the wood framing around doors and windows in poor condition. We understand that the extent of rehabilitation and upgrades is largely dependent on the outcome and future use of the space. As such, near-term repair and rehabilitation recommendations are presented below assuming no change in layout or function and long-term repair and retrofitting recommendations are presented for the Town's consideration and planning for the future use of the building.

4.1 NEAR-TERM REPAIRS AND REHABILITATION

If the Town anticipates that the future use of the space will not be decided for some time, extending beyond a period of 2 to 3 years, then as a starting point, it is recommended that the following repairs be performed in the near-term to prevent continued structural/building envelope deterioration and leaks:

- .1 Removal and replacement of the roofing membrane. Roof insulation could also be added or upgraded during replacement of the membrane and this should be confirmed pending space use.
- .2 Removal and replacement of waterproofing/flashings and repainting on the wood cornices
- .3 Localized repointing on brick cladding, and
- .4 Repainting and resealing of wood framing around the window and door openings.

4.2 LONG-TERM REPAIRS AND RETROFITTING

If the Town desires to upgrade the building envelope for long-term use of the space, then it is recommended to complete the above noted repairs in combination with considering the following improvements:

- .1 Removal and replacement of exterior access doors – two on east elevation, two on west elevation.
- .2 Removal or retrofitting of the existing bay doors – one on the east elevation, four on west elevation.

Note, for cold climates, numerous studies have determined that the optimal window-to-wall ratio (WWR) for energy performance is approximately 25% to 35%. With the bay doors considered as "windows" in this determination, the west elevation WWR is calculated to be approximately 28%. In



general, retrofits would upgrade the air and moisture control at the bay doors, improve localized thermal performance, and allow for the overall aesthetic of the building to remain intact.

If changing the building's exterior aesthetic is not an option due to the Town's heritage conservation policies, then hygrothermal analysis of the structural clay tile and brick masonry wall is recommended to study the impacts of insulating the walls from the inside, with spray foam or otherwise. Without first assessing the critical freeze-thaw saturation point of the masonry, insulating the building from the inside has the potential to initiate rapid deterioration of the masonry wall structure by reducing the drying potential of the wall assembly and increasing freeze-thaw risk. In general, a hygrothermal analysis and assessing the feasibility of insulation upgrades are considered beyond the scope of this report. As such, the associated costs have not been included in our Opinion of Probable Construction Costs presented in Section 5.2.



5.0 OPINION OF PROBABLE CONSTRUCTION COSTS

The following cost estimates presented for the repair and upgrade of the Old Fire Hall represent our opinion of the probable construction cost based on the limited information obtained during this condition survey assessment. The final costs will not be known until such time that the work is tendered and completed. It is not possible to accurately forecast the final bid unit prices that may be tendered for the work because they are directly related to the construction climate at the time of tendering. The costs noted below should be treated as “ball-park” or Class D¹ (+/- 25%) figures only and cannot be guaranteed accurate.

5.1 NEAR-TERM REPAIRS AND REHABILITATION

The probable construction cost for the above noted repairs and rehabilitation program, assuming all the work is performed in one phase, is in the order of approximately \$200,000 to \$250,000 plus H.S.T., in 2025 dollars, excluding engineering fees, soft costs, and material testing costs.

5.2 LONG-TERM REPAIRS AND RETROFITTING

The probable construction cost for above noted repairs and rehabilitation program, assuming all the work is performed in one phase, is in the order of approximately \$60,000 to \$80,000 plus H.S.T., in 2025 dollars, excluding engineering fees, soft costs, and material testing costs.

SUMMARY OF RECOMMENDED REPAIR		
	Timeline	Cost (Excluding HST)
Near-Term Repairs and Rehabilitation	Within 2 years	\$200,000 to \$250,000
Long-Term Repair and Retrofit Considerations	TBD	\$60,00 to \$80,000
Total Opinion of Probable Construction Cost:		\$260,000 to \$330,000²

¹ Class “D” probable costs – a statement of general requirements and an outline of a solution (degree of accuracy +/- 25%). Probable Construction Costs are in 2025 dollars and do not include soft costs, engineering fees, material testing, permits or HST unless noted otherwise. Furthermore, probable costs do not include any direct or indirect costs associated with potential trade tariffs, as the impact referpotential trade tariffs will have on the costs for the recommended repairs cannot be accurately forecasted.

² Opinion of Probable Costs do not include for the remediation, abatement, and disposal of any hazardous materials such as lead, asbestos, or otherwise.



6.0 CLOSING REMARKS

Thank you for selecting Read Jones Christoffersen Ltd. for this assessment. RJC would be pleased to assist you with the implementation of our recommendations. Should you have any questions or concerns, please do not hesitate to contact this office.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.



Leigh Besanger, BEng, P.Eng.
Project Engineer

Reviewed by:

A handwritten signature in black ink that reads "J.V. Rowe".

Duncan Rowe, BAsC, MEng, P.Eng., LEED® AP, BECxP, CPHC
Principal



APPENDIX A

PHOTOGRAPHS & FIGURES

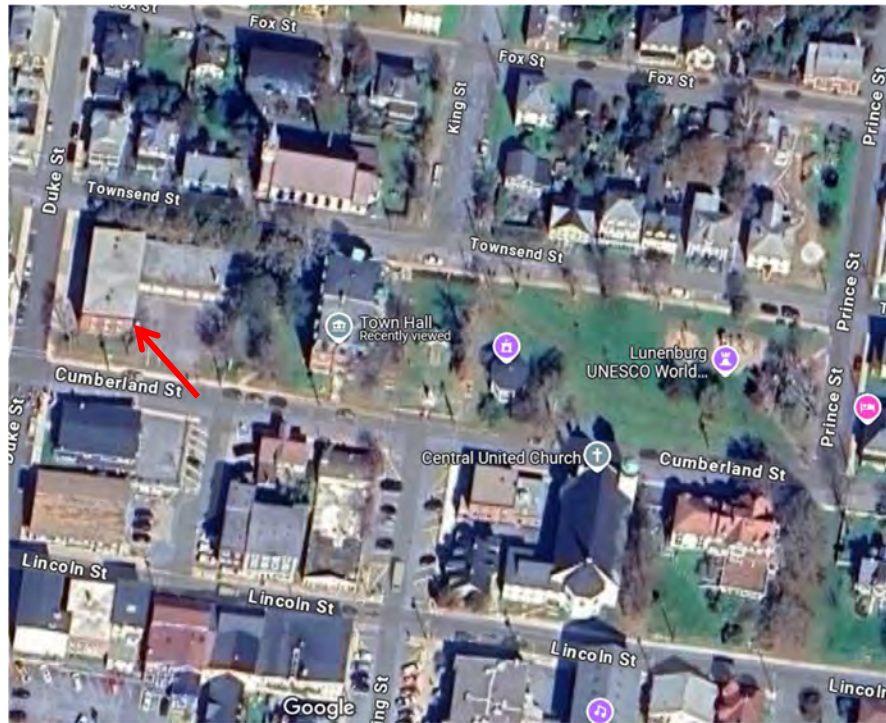


Photo 1: Google Maps aerial view excerpt of the Old Fire Hall located at 40 & 42 Duke Street



Photo 2: Overview of Old Fire Hall north and west elevation



Photo 3: Overview of Old Fire Hall east elevation



Photo 4: Localized step cracking with touch-up sealant repair attempts

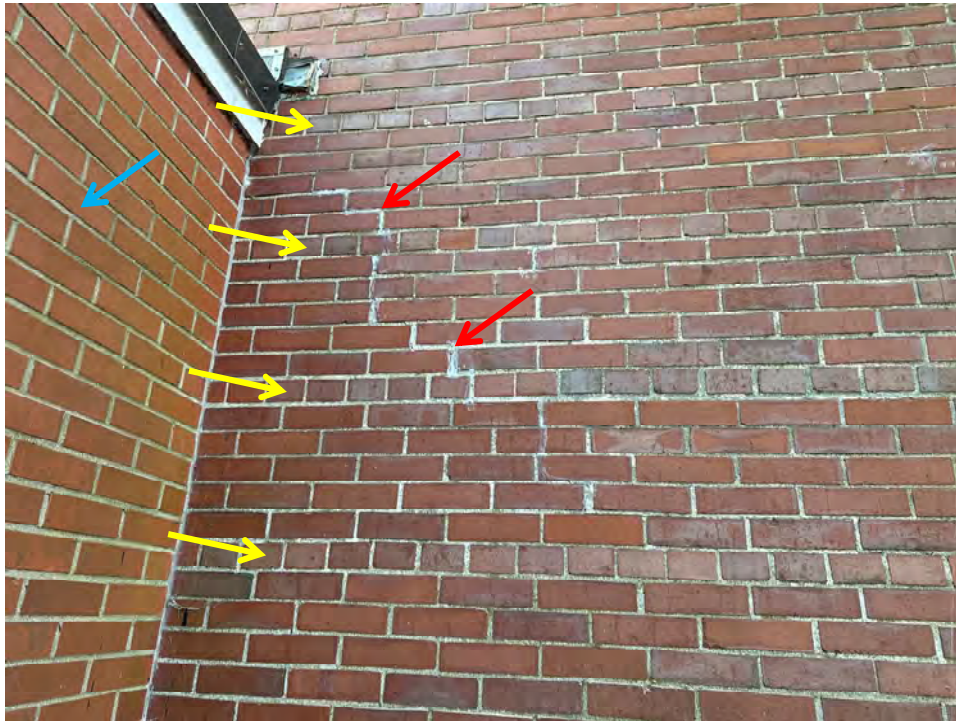


Photo 5: Typical brick masonry bond pattern. Yellow arrows at header courses. Red arrow at step cracking with touch up sealant repair attempt. Blue arrow on west wall of Electric Light Shop

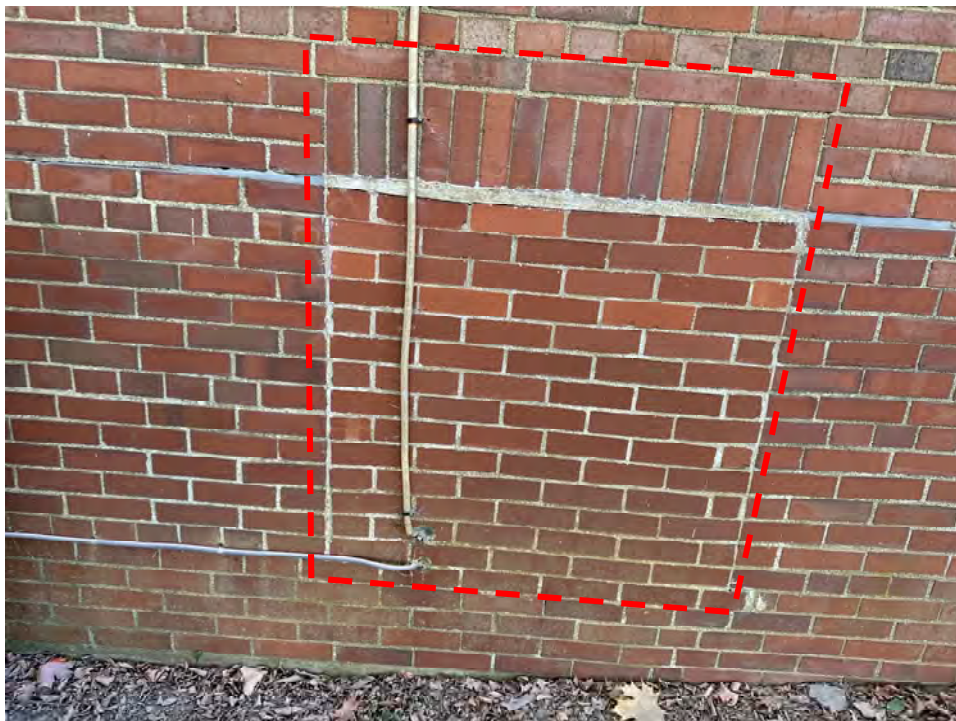


Photo 6: Brick infill at pre-existing window opening (typ. at two locations)

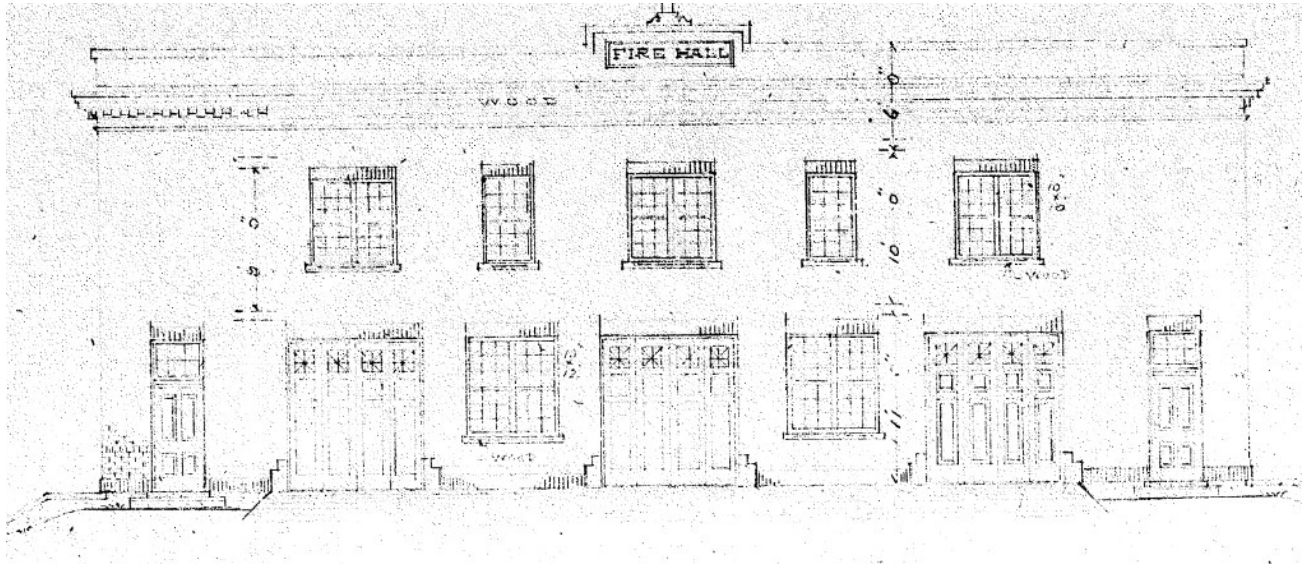


Figure 1: Original (circa 1928) bay door configuration on east elevation from circa 1928 drawings



Photo 7: Structural clay tile as visible from building basement. Yellow arrows at on bed courses



Photo 8: West elevation bay door interior (one of four)



Photo 9: Basement access doors and bay door on east elevation (rear of building). Blue arrow on south wall of Electric Light Shop



Photo 10: Close up of east elevation door with deteriorated wood threshold and failing paint finish



Photo 11: Close up of west elevation door with failing paint finish near southwest corner of building



Photo 12: Interior close up of newer vinyl window (typ. throughout building) set in original wood frame in fair to poor condition

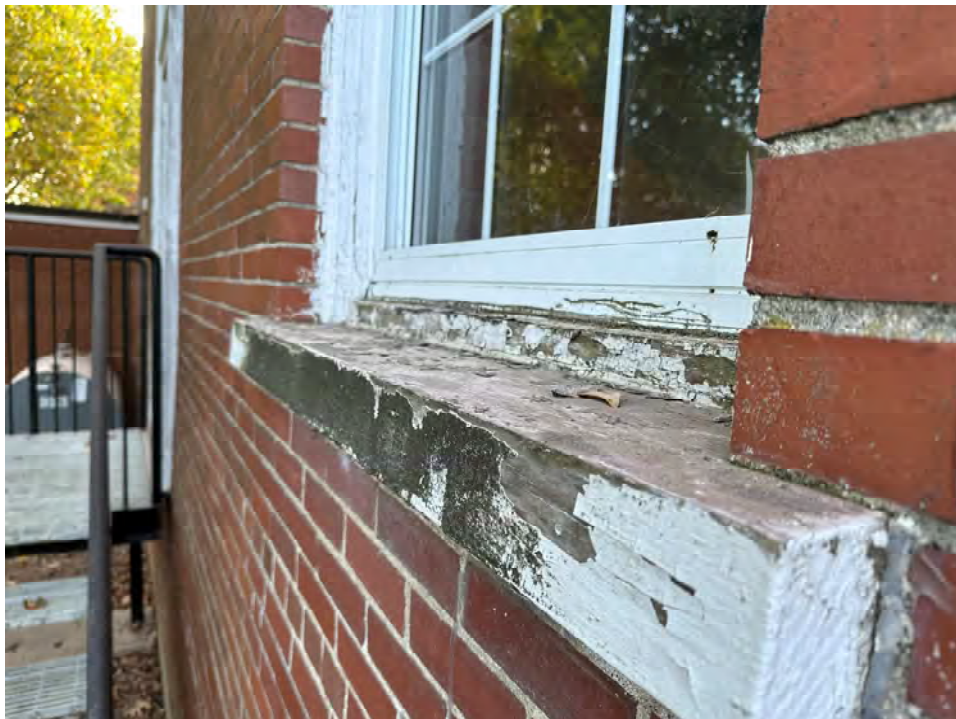


Photo 13: Failing paint finish on exterior window sill (typ. condition at others)



Photo 14: Overview of existing roofing membrane



Photo 15: Close up of deteriorated roofing membrane that had a coating applied overtop



Photo 16: Alligator cracking on roofing membrane telescoping through the coating at north chimney



Photo 17: Failing paint finish and deterioration on underside of wood cornice at southeast corner

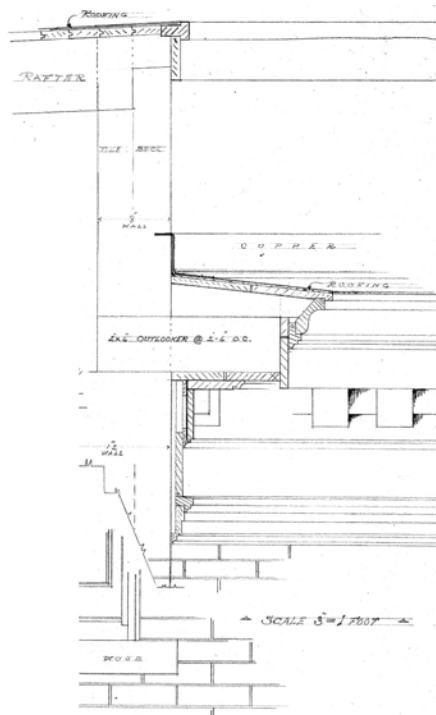


Figure 2: Original (circa 1928) typical cornice detail. Note, moisture ingress has potential to deteriorate “outlooker” and wall cavity if the cornice detailing is poor



Photo 18: Exploratory brick opening on north elevation



Photo 19: Exploratory brick opening on south elevation

107 CUMBERLAND STREET

ELECTRIC LIGHT SHOP BUILDING ENVELOPE CONDITION ASSESSMENT

Lunenburg, Nova Scotia



Prepared for:

Town of Lunenburg

177 Cumberland Street
Lunenburg NS B0J 2C0

Prepared by:

RJC Engineers

1701 Hollis Street, Suite 800
Halifax, NS B3J 3M8



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EXECUTIVE SUMMARY

As requested, Read Jones Christoffersen Ltd. (RJC) has completed a building envelope condition assessment of the Electric Light Shop located at 107 Cumberland Street in Lunenburg, Nova Scotia for the Town of Lunenburg. The intent of the study was to conduct a review of the visible and accessible portions of the Electric Light Shop building envelope components to identify any visually obvious areas of leakage, and deterioration to determine the likely cause of the noted distresses in order to provide recommendations for the future repair.

The Electric Light Shop, constructed in 1958, is located east of Duke Street and is connected to the east (rear) elevation of the Old Fire Hall. We understand that the building serves as much-needed storage space for the Town of Lunenburg and Nova Scotia Power. The Electric Light Shop is a one storey, concrete masonry unit (CMU) and brick structure with concrete foundation walls and footings, and a flat open web steel joist (OWSJ) roofing system.

Based on our visual review, the brick exterior is in fair to poor condition, the roofing materials appear in good condition, and the windows and doors appear in fair to poor condition. Two exploratory brick openings were reviewed to determine the condition and composition of the building envelope. Various locations of leakage were observed inside the Electric Light Shop, and localized areas of brick deterioration and CMU cracking were noted. Localized exterior brick repairs and the replacement of a window unit are recommended in the near term to restore the performance of the building envelope. Furthermore, it is recommended that the CMU cracking be monitored over 24 month period to assess the impact that the cracking is having on the overall structure.

The table below summarizes the recommended repair options and opinion of probable costs:

SUMMARY OF RECOMMENDED REPAIR		
	Timeline	Cost (Excluding HST)
Localized brick repairs	Within 2 years	\$10,000 to \$15,000
Removal and replacement of window unit	Within 2 years	\$7,500 to \$10,000
Implement crack monitoring program	Immediately, for 24 months	\$5,000
Total Opinion of Probable Construction Cost:		\$22,500 to \$30,000



contents of this report may not be quoted in whole or in part or distributed to any person or entity other than the client.

2.0 DESCRIPTION & BACKGROUND

The Electric Light Shop is a one storey, concrete masonry unit (CMU) and brick structure with concrete foundation walls and footings, and a flat open web steel joist (OWSJ) roofing system. Available drawings indicate the building constructed circa 1958 and designed by C.D. Davison & Company Architects. We understand that the building is not occupied on a day-to-day basis, but instead, primarily used as storage space for the Town of Lunenburg and Nova Scotia Power.

Based upon our review of available drawings and our visual review, the Electric Light Shop building enclosure is generally comprised of:

- .1 The building footprint is approximately 3,300 sq. ft. overall.
- .2 Approximately 12-1/2" thick concrete foundation walls. No reinforcing steel is detailed on the drawings.
- .3 Solid brick pier walls exist along the south elevation between the bay doors and building access doors. Additionally, reinforced concrete bond beams exist above the south elevation door openings with a projection at the bottom of the bond beam to support the brick cladding above.
- .4 The north and east walls and a short portion of the west wall of the building consist of 8" thick CMU, 4" thick exterior brick cladding, and a solid brick bond beam at the top of the wall and below the window openings.
- .5 Since the Electric Light Shop was built as an addition onto the Old Fire Hall, the majority portion of the west wall is original to the Old Fire Hall.
- .6 Based on the drawings, the roofing assembly above the OWSJ is comprised of tongue and groove decking, vapour barrier, 1/2" rigid insulation, and bonded roofing membrane.

2.1 DOCUMENT REVIEW

The following partial drawing set was provided to RJC as part of our review:



- .1 Warehouse for the Town of Lunenburg drawings, prepared by C.D. Davison & Company Architects and dated August 22, 1958.

2.2 INTERVIEW WITH TOWN PERSONNEL

The following information was obtained through interviews with the Town of Lunenburg personnel during our review:

- .1 The Town of Lunenburg has limited storage space within Town limits, so it is important that this building remains in a usable state for equipment storage purposes.
- .2 Nova Scotia Power has an agreement with the Town of Lunenburg to use a portion of the shop/warehouse as storage space for their equipment.

3.0 OBSERVATIONS

This section summarizes our observations of our visual review from ground level and interior spaces. A representative from the Town of Lunenburg facilitated our review of the interior spaces and highlighted known areas of leakage, distress, and deterioration. Photographs from our review have been included in Appendix A of this report.

3.1 FOUNDATION WALLS

- .1 The above grade surfaces of the concrete foundation wall appeared in good condition.

3.2 EXTERIOR BRICK

- .1 Overall, the exterior brick cladding of the Electric Light Shop remains in fair condition with localized areas appearing in poor condition. Localized deterioration was observed in the form of brick cracking, craze cracking, spalled brick faces, and efflorescence staining (*Refer to Photo 4 to Photo 6 in Appendix A*).
- .2 Weep holes were noted on the drawings and were observed at the base of the brick cladding (*Refer to Photo 7 in Appendix A*).



3.3 SOLID BRICK PIERS

- .1 Overall, the solid brick piers along the south elevation of the Electric Light Shop appeared in fair condition with localized areas appearing in poor condition. Similar to the brick cladding, localized deterioration was observed in the form of brick cracking, craze cracking, spalled brick faces, and efflorescence staining (*Refer to Photo 8 to Photo 9 in Appendix A*). Efflorescence staining was also noted from inside the building on the interior surfaces of the brick piers indicating long-term moisture build-up (*Refer to Photo 10 in Appendix A*).

3.4 CMU WALLS

- .1 The perimeter CMU walls of the building appeared in fair condition, except for some vertical cracking at three locations that ranged from approximately 1 mm to 5 mm wide. No control joints were noted in the CMU so it appears likely that these cracks are the result of long-term thermal-related movement, and the CMU cracked where it was locally restrained and forces concentrated.
- .2 At the first location on the east perimeter wall, the observed crack extended from the top of the foundation wall to the bottom of the window opening (*Refer to Photo 11 in Appendix A*).
- .3 At the second location of the east perimeter wall, the observed crack extended full wall height (*Refer to Photo 12 in Appendix A*).
- .4 On the north perimeter wall, the observed crack extended approximately half-way up the wall (*Refer to Photo 13 in Appendix A*).

3.5 BAY AND ACCESS DOORS

- .1 The bay doors appeared in fair condition and it is our understanding they perform as intended (*Refer to Photo 14 in Appendix A*).
- .2 The main access door on the south elevation appeared newer and in good condition (*Refer to Photo 15 in Appendix A*).



3.6 WINDOWS

- .1 The two vinyl windows next to the main access door appeared newer, in good condition and performing as intended (*Refer to Photo 15 in Appendix A*). The older wood cladding surrounding the windows is in fair to poor condition.
- .3 The wood-framed window unit on the east end of the south elevation appears original, the wood framing appeared deteriorated and signs of leakage were observed on the inside of the building (*Refer to Photo 16 to Photo 17 in Appendix A*).
- .4 The three aluminum-framed windows on the east elevation appear original and in fair condition. In the middle window, one of the panes was cracked (*Refer to Photo 18 in Appendix A*).
- .5 The wood-framed windows on the north elevation appeared original and in fair condition. The drawings indicate translucent "Alsynite" panels beside these windows. As visible from the building interior, these panels appeared to remain, but from the exterior, they were covered by painted wood plywood and may have been an original clerestory feature (*Refer to Photo 19 in Appendix A*).

3.7 ROOFING ASSEMBLY

- .1 The roof was not accessible during our review, but the roof membrane appeared newer and in good condition when viewed from inside the Old Fire Hall building (*Refer to Photo 20 in Appendix A*). RJC does not know when the roofing membrane replacement occurred.
- .2 Leakage staining was evident inside the building on drop ceiling tiles and at other locations on wall surfaces below the roof (*Refer to Photo 17 and Photo 21 in Appendix A*). However, the underside of the tongue and groove roofing boards appeared in fair condition and it is unknown if this observed leakage staining pre-dates the installation of the newer roofing membrane.
- .3 Newer roof flashing was observed around the perimeter of the building (*Refer to Photo 22 in Appendix A*).

3.8 EXISTING EXPLORATORY OPENINGS IN EXTERIOR BRICK

Two exploratory openings were created in the brick cladding to allow for a localized sample review of the concealed elements of the building enclosure (*Refer to Photo 23 and Photo 24 in Appendix A*). The exploratory openings were approximately 600 mm by 450 mm in size and were performed to examine the condition and composition of the building envelope.



- .1 In general, the condition and composition at both exploratory openings were observed to be the same. The following wall construction was observed (from exterior to interior):
 - Clay masonry brick (± 100 mm)
 - Air space (± 25 mm)
 - CMU back up wall
- .2 Membrane was not observed on the CMU back up wall at either exploratory opening.
- .3 Brick ties were observed at both exploratory openings.
- .4 The removed brick was reinstated.

4.0 CONCLUSIONS AND RECOMMENDATIONS

Based on the results of our visual review, the Electric Light Shop building envelope appears to be in fair condition overall and performing as intended for the building's current function. However, localized repair of exterior brick and replacement of the window unit at one location are recommended in the near term to restore the integrity and maximize the effective service life of the building enclosure.

With respect to the CMU wall cracking, there does not appear to be an immediate need to strengthen, support/brace or stabilize the wall structure at these locations; however, crack monitoring over the next 24 months is recommended and would be a prudent measure to verify that the cracking is not progressing. In general, crack monitoring would include the installation of crack gauges at select locations and intermittent site visits (ideally at temperature highs and lows) to record crack width changes.

5.0 OPINION OF PROBABLE CONSTRUCTION COSTS

The following cost estimates presented for the repair and monitoring of the Electric Light Shop represent our opinion of the probable construction cost based on the limited information obtained during this condition survey assessment. The final costs will not be known until such time that the work is tendered and completed. It is not possible to accurately forecast the final bid unit prices that may be tendered for the work because they are directly related to the construction climate at the time of



tendering. The costs noted below should be treated as “ball-park” or Class D¹ (+/- 25%) figures only and cannot be guaranteed accurate.

5.1 BRICK REHABILITATION

The probable construction cost for a brick rehabilitation program, assuming all the work is performed in one phase, is in the order of approximately \$10,000 to \$15,000 plus H.S.T., in 2025 dollars, excluding engineering fees, soft costs, and material testing costs.

5.2 WINDOW UNIT REPLACEMENT

The probable construction cost for a window unit replacement, assuming all the work is performed in one phase, is in the order of approximately \$7,500 to \$10,000 plus H.S.T., in 2025 dollars, excluding engineering fees, soft costs, and material testing costs.

5.3 CRACK MONITORING

The probable engineering cost for a 24-month long cracking monitoring program is in the order of approximately \$5,000 plus H.S.T., in 2025 dollars, excluding soft costs.

SUMMARY OF RECOMMENDED REPAIR		
	Timeline	Cost (Excluding HST)
Localized brick repairs	Within 2 years	\$10,000 to \$15,000
Removal and replacement of window unit	Within 2 years	\$7,500 to \$10,000
Implement crack monitoring program	Immediately, for 24 months	\$5,000
Total Opinion of Probable Construction Cost:		\$22,500 to \$30,000²

¹ Class “D” probable costs – a statement of general requirements and an outline of a solution (degree of accuracy +/- 25%). Probable Construction Costs are in 2025 dollars and do not include soft costs, engineering fees, material testing, permits or HST unless noted otherwise. Furthermore, probable costs do not include any direct or indirect costs associated with potential trade tariffs, as the impact referpotential trade tariffs will have on the costs for the recommended repairs cannot be accurately forecasted.

² Opinion of Probable Costs do not include for the remediation, abatement, and disposal of any hazardous materials such as lead, asbestos, or otherwise.



6.0 CLOSING REMARKS

Thank you for selecting Read Jones Christoffersen Ltd. for this assessment. RJC would be pleased to assist you with the implementation of our recommendations. Should you have any questions or concerns, please do not hesitate to contact this office.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.



Leigh Besanger, BEng, P.Eng.
Project Engineer

Reviewed by:

A handwritten signature in black ink that reads "J.D. Rowe".

Duncan Rowe, BAsC, MEng, P.Eng., LEED® AP, BECxP, CPHC
Principal



APPENDIX A

PHOTOGRAPHS

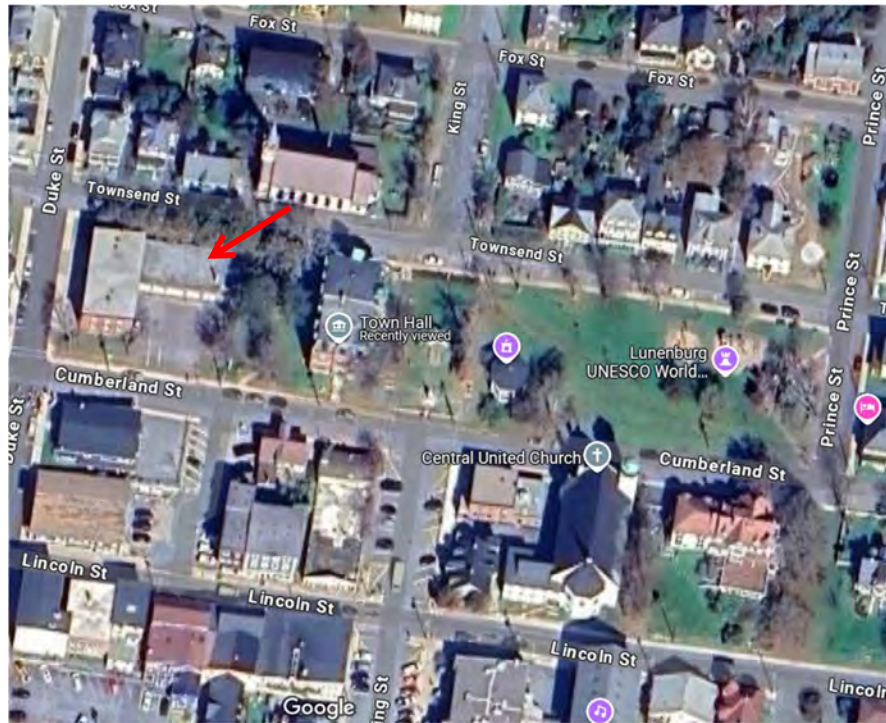


Photo 1: Google Maps aerial view excerpt of the Electric Light Shop located at 107 Cumberland Street



Photo 2: Overview of Electric Light Shop south elevation



Photo 3: Overview of Electric Light Shop north elevation



Photo 4: Brick deterioration on east elevation below brick sills



Photo 5: Brick deterioration at northeast corner



Photo 6: Brick cracking on north elevation



Photo 7: Close-up of weep hole at base of north elevation exterior brick



Photo 8: Brick deterioration on south elevation solid brick pier



Photo 9: Brick deterioration on south elevation solid brick pier and above concrete projection/lintel from likely moisture accumulation and unsealed penetrations

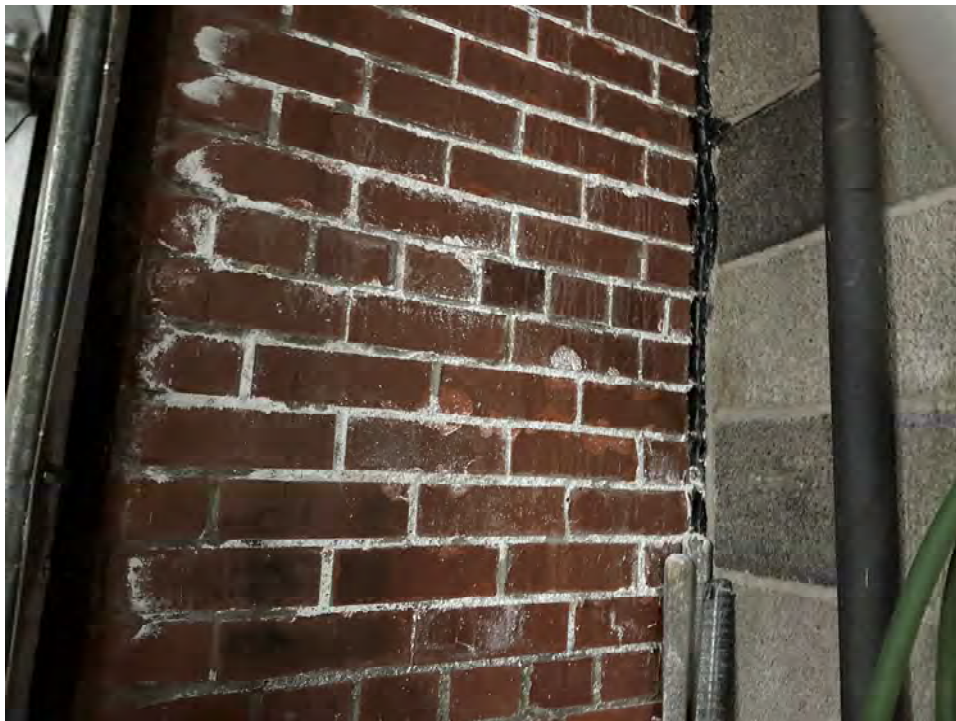


Photo 10: Efflorescence build up and staining on interior surface of solid brick pier (inside building at Photo 9 location)



Photo 11: CMU cracking below window opening on east elevation wall



Photo 12: Full wall height CMU cracking adjacent to window opening on east elevation



Photo 13: CMU cracking on north elevation wall

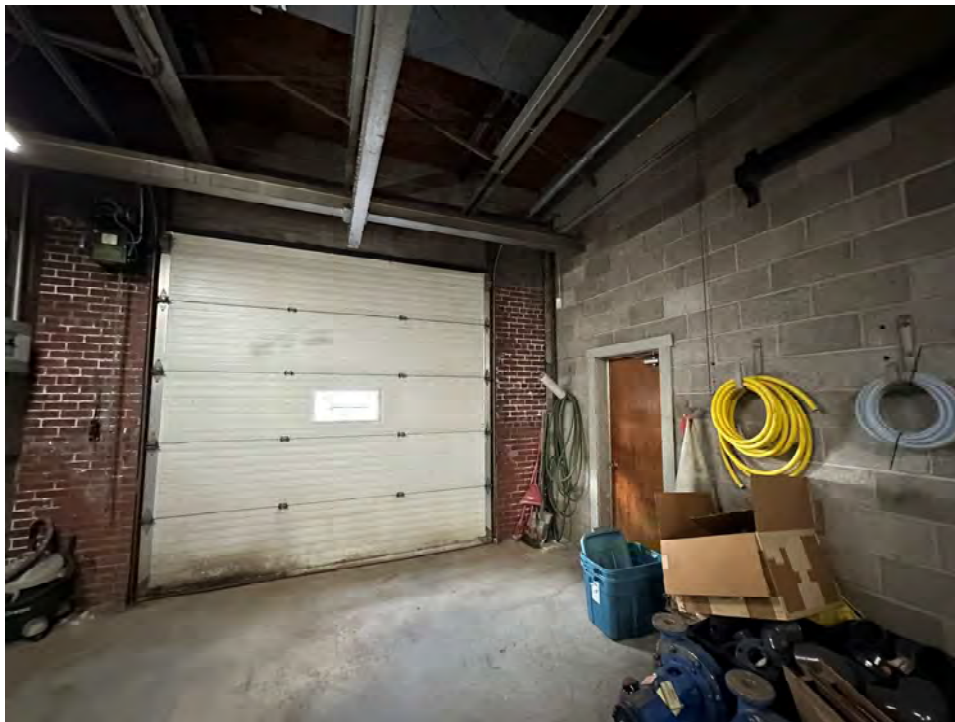


Photo 14: Bay door as visible from inside the building



Photo 15: Newer door and windows at Electric Shop entrance set in older painted plywood cladding



Photo 16: Deteriorated window unit on south elevation



Photo 17: Deteriorated window unit as visible from building interior. Note, leakage staining on ceiling tiles above



Photo 18: Cracked pane on east elevation aluminum-framed window with wired glass



Photo 19: Wood-framed window and plywood coverings on north elevation wall

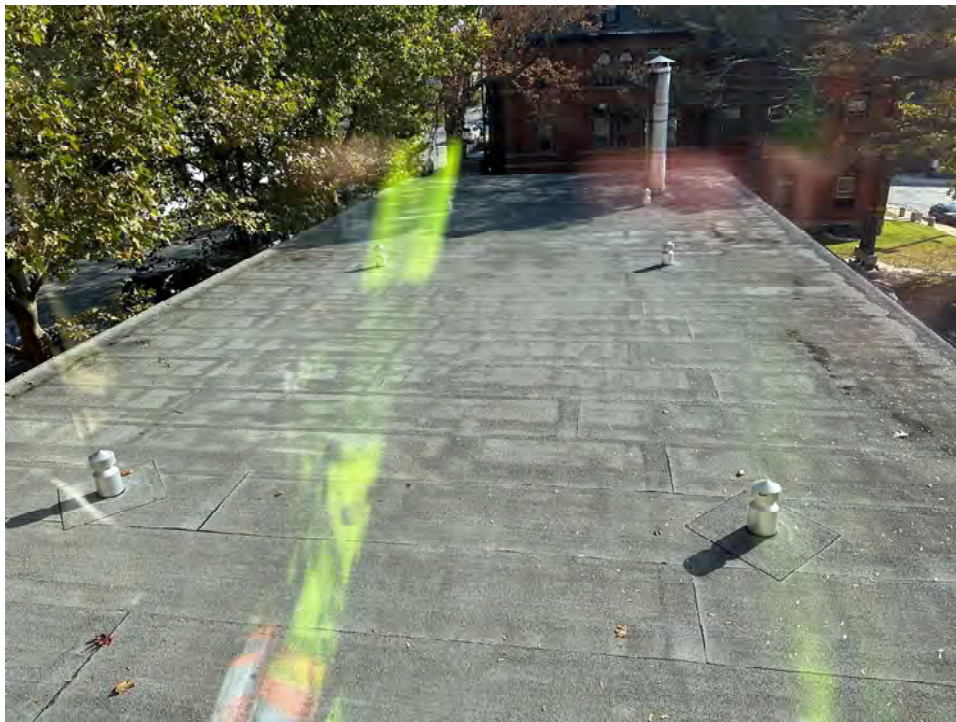


Photo 20: Overview of roofing membrane as visible from inside Old Fire Hall building



Photo 21: Indications of roof leakage on interior wall surface

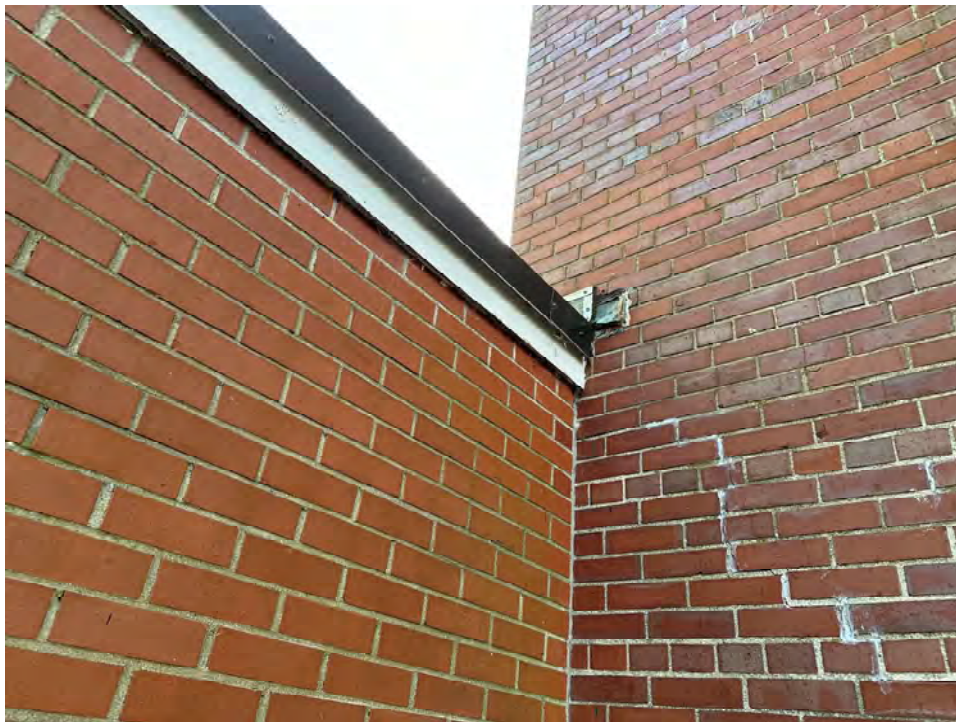


Photo 22: Newer roof flashing at top of west elevation wall at transition to Old Fire Hall building



Photo 23: Exploratory brick opening on east elevation



Photo 24: Exploratory brick opening on north elevation

Subject: Notice: Affordable Housing Tax Forgiveness Policy
From: Hilary Grant, Interim Chief Administrative Officer
Date: February 4, 2025



Recommendation

That Council give notice to approve the new Affordable Housing Tax Forgiveness Policy as presented.

Alternatives

1. Request additional information from Staff
2. Request edits be made before the policy returns for decision

Background

In 2024, the *Municipal Government Act* (MGA) was amended to empower municipalities to offer targeted tax incentives to those constructing affordable housing. The amendments (specifically to Section 57 of the MGA [Appendix A]) clarify that municipalities can provide tax relief programs that encourage affordable housing.

One of the Town's Housing Accelerator Fund initiatives is a three-year municipal tax break aimed at increasing the supply of affordable housing. This proposed tax exemption is designed to align with the updated Municipal Government Act (MGA), leveraging newly granted municipal powers to directly address the urgent housing crisis by incentivizing developers to build new affordable housing units.

Council needs to pass a motion on affordable housing tax forgiveness by February 28, 2025, to meet the Housing Accelerator Fund deadline. This initiative was reviewed at Committee of the Whole January 7, 2025.

Discussion

Eligibility:

Any for-profit or non-profit, public or private companies or organizations, including rental co-ops, are eligible. The initiative primarily supports for-profit affordable housing developments, as non-profit organizations can already receive property tax exemptions for properties used for charitable purposes. The property tax exemptions for non-profit organization are at the discretion of Council and does not happen as of right.

However, staff recommend that non-profits also be eligible under this policy to ensure fairness. This provision ensures that non-profits developing affordable housing projects that do not qualify under the traditional charitable exemption can still receive the tax benefit.

Policy Intent & Limitations

The objective of this incentive is to increase the Town's housing supply and accelerate the construction of new affordable housing by providing a temporary municipal tax exemption. Thus, the program extends to the following construction project:

- Affordable and community housing
- Mixed Use market/affordable rental

All projects must:

- Have a minimum of five units
- Have residential as its primary use
- Meet minimum requirements for partnerships, financial viability, energy efficiency and accessibility

The program does not extend to:

- Conversion from non-residential use to affordable multi-residential
- Renovation of existing residential to increase the number of dwelling units
- Existing affordable housing units
- Student Housing
- The construction of shelters, transitional, or supportive housing (note that these projects typically qualify for tax exemptions under non-profit status).

By excluding existing affordable units, the financial impact on the Town remains limited while maximizing the incentive's impact on new developments.

Revisions Following Committee of the Whole

Following discussions at the Committee of the Whole, two key revisions have been made to the draft policy:

- Pilot Project Approach: The tax exemption will apply for a period of three fiscal years as committed to in the Town's Housing Accelerator Fund Application. However, the program is now proposed as a short-term four-year pilot project, allowing Council to assess its effectiveness before committing to a long-term policy. Applications will only be accepted until the end of the 2025/2026 fiscal year and receive a three-year tax exemption, such that the pilot project is four years in length.
- Alignment with CMHC's Affordable Housing Fund: The policy has been structured to align with the Canada Mortgage and Housing Corporation's (CMHC) Affordable Housing Fund, specifically the Community Housing Sub-Stream, with minor differences. This sub-stream provides low-interest repayable loans and forgivable loans to eligible applicants, including community housing providers, municipalities, provinces, territories, Indigenous governments, and private sector entities. To qualify, projects must have support from another level of government. Thus, aligning this policy with this fund will also make it easier for Lunenburgers to apply to this program. Aligning with CMHC means using their established definition of affordability. If Council wishes to adopt an alternative definition, it would significantly complicate alignment with CMHC's programs. A separate application process and customized forms would be required, creating a substantial additional workload for staff. This would not only increase administrative burden but could also delay or hinder access to available funding opportunities on the part of applicants. To streamline processes and maximize efficiency, it is recommended that Council adhere to CMHC's affordability definition.

CMHC Program Requirements & Considerations

The CMHC Community Housing Sub-Stream requires applicants to meet several obligations:

- **Affordability:** At least 30% of units must have rents set at less than 80% of the Median Market Rent (MMR) for at least 20 years.
- **Energy Efficiency:** Projects must meet Tier 2 of the 2020 National Energy Code of Canada for Buildings (NECB) or Tier 3 of the 2020 National Building Code (NBC).
- **Accessibility:** At least 20% of units must meet or exceed national accessibility standards, and common areas must be barrier-free.
- **Minimum Project Size:** A minimum of five units or beds, with residential use as the primary function.
- **Application & Agreement Process**

This draft policy strategically leverages CMHC's existing framework to ensure effective program administration and alignment with national funding opportunities. To be eligible for this tax exemption, applicants must complete the CMHC's rigorous Community Housing Sub-Stream application and submit it to the Town along with confirmation from CMHC of their project's eligibility under this program sub-stream. Town staff would need to screen and remove applications for conversions from a non-residential use to affordable multi-residential, shelters and transitional and supportive housing, as these are ineligible under the draft policy.

If approved for a tax exemption, applicants must sign an agreement with the Town that would mirror CMHC's agreement, which includes conditions, socio-economic outcomes, security requirements, reporting obligations, and standard terms and conditions. Under these agreements, recipients would be obligated to provide regular reports to the Town to demonstrate compliance with the terms of the agreement, including maintaining affordability, energy efficiency, and accessibility standards.

Overall, this approach ensures consistency across funders and ensures the Town only supports thoroughly vetted projects without committing extensive human resources to reviewing applications. Additionally, if the applicant receives CMHC funding, the Town and CMHC may be able to collaborate on oversight and enforcement.

Current Town of Lunenburg Existing Tax Programs

The Town of Lunenburg already provides tax relief.

- **Non-Profit Tax Relief:** Non-profits may receive tax relief on property used for charitable purposes. This is at the discretion of Council and granted through Council motions.
- **Residential Property Tax Relief:** The Town of Lunenburg offers a Residential Property Tax Relief Program to assist low-income homeowners with their property tax obligations. The amount of relief is determined based on household income, with greater assistance provided to those with lower incomes. For the 2024/25 tax year, the income thresholds and corresponding exemption amounts are as follows:
 - Household Income of \$33,540 or less: Eligible for a tax exemption of \$650.
 - Household Income between \$33,541 and \$51,840: Eligible for a tax exemption of \$450.

To apply for this relief, homeowners need to complete the 2024/25 Application for Residential Property Tax Relief form. This form requires applicants to provide proof of income and other relevant

documentation to establish eligibility. The application form is available on the Town of Lunenburg's official website.

- Destroyed Premises Tax Relief: The Town of Lunenburg has a Tax Relief Policy designed to assist property owners whose buildings have been destroyed or partially destroyed due to unforeseen events like storms or fires. This policy ensures that property assessments accurately reflect such losses, potentially leading to a reduction in the taxes payable. The reduction amount is determined using the formula: $(\text{Assessed Value Before Destruction} - \text{Assessed Value After Destruction}) \times \text{Tax Rate}$. No reduction is permitted if: The destruction is due to intentional demolition. The loss is less than 20% of the property's assessed value. The reduction is prorated based on the number of months remaining in the fiscal year following the destruction. This policy is administered by the Town's Municipal Clerk with the ability of property owners to appeal decisions to Council.

Other Programs in Nova Scotia

Several municipalities in Nova Scotia offer tax incentives to promote the development of affordable housing:

- Halifax Regional Municipality (HRM):
 - Affordable Housing Grant Program: HRM offers grants to registered non-profit and charitable organizations to support the development, renovation, or purchase of affordable housing. Unlike some programs, this grant does not require a minimum number of affordable units, making it accessible to a wide range of projects.
 - Waiver of Municipal Construction Fees: In November 2020, HRM approved the waiver of most municipal-related construction fees for residential developments by registered non-profits or charitable housing organizations. Eligible fees include construction permits, subdivision application fees, and discretionary approval processing fees.
- Cape Breton Regional Municipality (CBRM):
 - Affordable Housing Property Tax Adjustment: CBRM offers a property tax reduction for affordable housing developments, providing a 90% reduction in municipal property tax in the first two years and a 75% reduction in the third year. The program requires developers to have a minimum of four affordable units for at least ten years.

These initiatives demonstrate a growing commitment among Nova Scotia municipalities to support affordable housing through various incentives and support programs.

Strategic Plan Relevance

Housing

- Direction to support different types of housing development, tenant structures, and affordability

Relevant Legislation

Municipal Government Act

Financial

While the Town may forgo some revenue from these projects due to the tax exemptions, the incentive is designed to stimulate the construction of residences that might not otherwise be developed. The incentive will have no impact on the Town's operating or capital budgets because it is foregone revenue rather than a cash payment. After three to four years, the Town could anticipate benefiting from the expanded tax base.

Communications

This incentive would be publicized once passed by Council.

Attachments

- A. Municipal Government Act Section 71
- B. Affordable Housing Tax Forgiveness Policy
- C. [CMHC Affordable Housing Fund Program Highlight Spreadsheet](#)
- D. [CMHC Affordable Housing Fund Required Documentation Checklist](#)
- E. [CMHC Affordable Housing Fund Applicant Guide](#)
- F. [CMHC Affordable Housing Fund Integrity Declaration](#)
- G. [CMHC Affordable Housing Fund Energy Efficiency Criteria Attestation](#)
- H. [CMHC Affordable Housing Fund Accessibility Criteria Attestation](#)

Appendix A Municipal Government Act Section 57

Business and industrial development

57 (1) A municipality may

(a) solicit and encourage the establishment and development of new, and the establishment, development and expansion of existing institutions, industries and businesses in and around the municipality;

(b) publicize the advantages of the municipality or any part of the municipality and the surrounding areas as a location for the establishment and expansion of institutions, industries and businesses;

(c) pay grants to a body corporate for the purpose of promoting the municipality or any part of the municipality and the surrounding areas as a location for institutions, industries and businesses;

(d) prepare and disseminate information about the municipality or any part of the municipality and the surrounding areas for the assistance of institutions, industries and businesses intending to locate or expand in the municipality or the surrounding area.

(2) A municipality shall not grant a tax concession or other form of direct financial assistance to a business or industry.

(3) Notwithstanding subsection (2), a municipality may provide direct financial assistance to a business for the purpose of improving accessibility for people with disabilities.

(4) Notwithstanding subsection (2), a municipality may provide direct financial assistance to a business for the purpose of increasing the availability of affordable housing in the municipality. 1998, c. 18, s. 57; 2021, c. 12, s. 1; 2021, c. 33, s. 1.

Affordable Housing Tax Forgiveness Policy

Date adopted by Council: **TBD**



1. POLICY STATEMENT

The Town of Lunenburg recognizes the importance of increasing affordable housing options within the community. To encourage the development of affordable housing, this policy provides targeted financial incentives in the form of temporary property tax forgiveness to eligible projects.

2. PURPOSE

The purpose of this policy is to:

1. Promote the development of affordable housing within the Town of Lunenburg.
2. Provide financial support through property tax exemptions to projects that meet the eligibility requirements.
3. Establish a four-year pilot program to assess the impact and effectiveness of tax forgiveness before considering long-term implementation.

3. SCOPE

This policy applies to new affordable housing construction projects that meet the eligibility criteria outlined in Section 5. The tax forgiveness applies for a period of three fiscal years from the date applicants sign a tax forgiveness agreement with the Town of Lunenburg.

4. DEFINITIONS

“Applicant” means any for-profit or non-profit entity, including but not limited to individuals, corporations, partnerships, registered charities, housing cooperatives, and Indigenous governments or organizations, that seeks tax forgiveness under this policy for an eligible affordable housing construction project. The applicant must have legal ownership or control of the development site, be the entity responsible for the project's construction and operation, and meet all eligibility requirements outlined in this policy.

“Affordable Housing” means residential buildings where at least 30% of units must have rents set at less than 80% of the Median Market Rent for at least 20 years.

“Affordable Housing Construction Project” means a new construction project for which a building permit has been issued after the enactment of this policy. It excludes Conversion from non-residential use to affordable multi-residential, renovation of existing residential to increase the number of dwelling units, and construction of student housing, shelters, transitional, or supportive housing.

“Building Permit” has the same meaning as the Nova Scotia Building Code Act and Regulations.

“Dwelling Unit” has the same meaning as the Nova Scotia Building Code Act and Regulations.

“Median Market Rent” means the median rental cost of units in a given market as determined by the Canada Mortgage and Housing Corporation’s Rental Market Survey or another recognized housing affordability assessment.

“Owner” means the individual or entity holding legal title to the property on which the affordable housing construction project is being developed.

“Performance Standards” means the affordability, energy efficiency, and accessibility requirements that an applicant must meet under this policy and any related agreements with the Town.

“Recipient” means an applicant who has entered into an agreement with the Town and has been approved for tax forgiveness under this policy.

“Tax Forgiveness” means a temporary three-year exemption from municipal property taxes for eligible affordable housing construction projects.

“Tax Forgiveness Agreement” means the contract signed between the Town and an applicant outlining the responsibilities, reporting requirements, and conditions for maintaining tax forgiveness status.

“Town” means the Town of Lunenburg.

5. PROJECT REQUIREMENTS

Only affordable housing construction project is eligible for tax forgiveness under this policy. To qualify for tax forgiveness under this policy, affordable housing construction projects must meet the following requirements:

1. Must contain a minimum of five dwelling units
2. Residential must be the primary use of the development
3. Be eligible for funding under the Canadian Mortgage and Housing Corporation’s (CMHC) Affordable Housing Fund – New Construction: Community Housing Sub-Stream

6. EXCLUSIONS

This policy does not apply to:

1. Conversion from non-residential use to affordable multi-residential units
2. Conversion from existing residential to affordable housing
3. Existing affordable housing
4. Student housing

5. Shelters, transitional housing, and supportive housing

7. INCENTIVES

The Town will waive municipal property taxes for eligible affordable housing construction projects for a period of three years. The three years will start on the date an applicant enters into a signed agreement with the Town.

8. APPLICATION

To apply for tax forgiveness, applicants must complete the Canadian Mortgage and Housing Corporation's (CMHC) Affordable Housing Fund – New Construction: Community Housing Sub-Stream application.

Applicants must submit a copy of their completed application form along with confirmation from CMHC of their project's eligibility under this fund and sub-stream.

9. TAX FORGIVENESS AGREEMENT

The Town will require tax forgiveness agreement with the applicant to ensure compliance with affordability, energy efficiency, and accessibility commitments before eligible applicants receive tax forgiveness. The Town may request and assess assignments of rents and leases, proof of insurance, other financial documents or any other documentation the Chief Administrative Officer or their designate deems necessary before entering into a tax forgiveness agreement.

The Chief Administrative Officer or this designate may refuse to enter into a tax forgiveness agreement with an applicant if the application does not meet the policy requirements or if concerns arise regarding the project's feasibility, compliance, or financial impact. If the CAO denies an application, the applicant may appeal the decision to Council within 90 days of receiving the denial notice.

Appeals will generally be heard in an open Council session to ensure transparency. However, if an appeal involves confidential financial, proprietary, or legal information, Council may move the discussion to a closed session, in accordance with the Municipal Government Act (MGA).

The applicant will be given an opportunity to present their case before Council, and Council's decision on the appeal will be final.

Recipients may combine tax forgiveness under this policy with other municipal, provincial, federal or national funding.

10. ANNUAL COMPLIANCE REPORTING

Recipients must submit an Annual Compliance Report to the Town of Lunenburg on the anniversary of their signed Tax Forgiveness Agreement for the duration of the tax forgiveness period. Reports must be submitted in a format prescribed by the Town.

Reports must demonstrate continued compliance with:

- Affordability requirements (rent levels and occupancy).
- Energy efficiency and accessibility standards, as outlined in the Tax Forgiveness Agreement.
- Any additional reporting requirements determined by the Town.

Failure to submit required reports may result in a notice of non-compliance, with a ninety-day grace period to resolve issues.

If compliance is not demonstrated, the Town may revoke tax forgiveness and require repayment of forgiven taxes for the non-compliant period.

The CAO or their designate is authorized to enforce penalties, including agreement termination, if violations persist.

11. POLICY DURATION

This policy will remain in effect for four years after the date of adoption. After this period, Council must review and amend the policy before continuing tax forgiveness incentives.

If Council updates the policy during its effective period, the revised policy will still expire at the end of the original four-year term unless extended.

REQUEST FOR DIRECTION

Subject: Setting a Fixed Schedule for COTW Meetings

From: Kayla Byrne, Legislative & Policy Manager

Date: February 11, 2025



Recommendation

Staff requests direction from Council on whether:

1. Council wishes to continue calling COTW meetings as needed, or
2. Council would like to explore setting a fixed schedule for COTW meetings.

Background

At Council's Organizational Meeting, held in October 2024, Council set its regular meeting schedule for 2024/2025 as meetings on the second and fourth Tuesday of each month, apart from July, August, and December, where only one meeting was scheduled.

In the staff report for setting the 2024/2025 regular meeting schedule, it was noted that Committee of the Whole (COTW) meetings may be called independently as needed and are not bound by this schedule.

Per [Council's Procedural Policy](#), COTW may consider a wide range of matters, including but not limited to:

- Operating and capital budgets
- Audit matters
- Development matters
- Strategic planning
- Legislative reform
- Policy and by-law formulation

Discussion

Since the start of the New Year, Council has scheduled two COTW meetings in January (one of which was rescheduled to February due to a weather cancellation) and one so far for March. Given the frequency of these meetings, staff is seeking direction from Council on whether to continue scheduling COTW meetings on an as-needed basis or to establish a fixed schedule.

To assist in determining whether a more structured approach would be beneficial, staff conducted a jurisdictional scan of how nearby municipalities schedule similar meetings, including Committee of the Whole or similar discussion or strategic planning meetings:

Municipality	Regular Meeting Schedule	COTW or Equivalent	COTW or Equivalent Frequency
Town of Mahone Bay	Second Tuesday at 9 a.m. & Last Thursday at 7 p.m.	No COTW, but one Policy & Strategy meeting on the Third Monday at 7 p.m.	Once per month
Town of Bridgewater	Second & Fourth Monday at 6 p.m. (Only one meeting in July, August & December)	No COTW, but one Discussion Session on the First Monday at 6 p.m.	Once per month
Municipality of the District of Lunenburg	Second Tuesday (shifting to evening) & Fourth Tuesday at 9 a.m.	No COTW, but a Policy & Strategy meeting on the Third Tuesday at 9 a.m.	Once per month
Municipality of the District of Chester	First & Third Thursday at 8:45 a.m.	COTW meetings on the Second & Fourth Thursday at 8:45 a.m.	Twice per month

If Council wishes to establish a fixed COTW schedule, staff recommends selecting preferred dates and times. Once determined, the schedule can be brought forward for formal approval at the next regular Council meeting.

If Council prefers to continue scheduling COTW meetings on an as-needed basis, meeting dates will continue to be set under the regular agenda item: 13. Items for Consideration at Committee of The Whole.

Relevant Legislation

Municipal Government Act, S. 110

Attachments

N/A

Subject: Potable Water, Quality Test Results: July to September 2024

From: Tyson Joyce, Town Engineer

Date: January 30, 2025



Recommendation

This is an information report. No decision of Council is required.

Background

The Nova Scotia Environment and Climate Change (NSECC) Approval documents to operate the Water Treatment Plant (WTP) require that certain tests be carried out to verify the quality of treated potable water. There are also Federal testing standards that must be followed. Routine testing is conducted in the Town of Lunenburg (TOL) lab at the WTP, and independently by accredited laboratories to determine compliance levels with both the Provincial and Federal standards. If any test result exceeds the standards, then explanations are provided. This report provides a monthly summary of these results.

The timing of this document follows from the testing schedule at the WTP, which is performed on a quarterly cycle. The next Council report will be prepared at the end of the next quarter.

At the end of each year an annual report is also prepared for the WTP and filed with the Provincial and Federal governments.

Discussion

1.0 Water Quality

The TOL waster system operates according to two Nova Scotia Environment Approvals:

- Approval for Operation – Water Treatment Facility (Approval #2010-071794-02)
 - Updated Approval to Operate effective May 4, 2022
- Approval to Withdraw Water – Dares Lake (Approval #2011-079411-01)

The Approval to Operate document requires the following water quality sampling:

- Weekly total coliform and fecal coliform tests for water entering the distribution system and various water distribution system sample points (maximum none/100 mL).
- Quarterly tests for Manganese (maximum 0.12 mg/L).
- Quarterly tests for disinfection by-products:

- Trihalomethanes (maximum 0.1 mg/L).
- Haloacetic acids (maximum 0.08 mg/L).
- Lead and Copper testing performed in accordance with the “Requirements for Lead and Copper Management Municipal Public Drinking Water Supplies” which requires 10 samples taken between May 1st and September 30th each year (maximum of 0.005 mg/L).
- Turbidity measured continuously at each filtration unit shall not exceed 0.1 NTU 99% of the time and shall not exceed 0.3 NTU at any time.
- Chlorine residual must be between 0.2-4.0 mg/L measured continuously.
- The Province can also request virus testing for *Giardia* and *Cryptosporidium* at any time. Treatment efficiencies are required to meet:
 - 3-log reduction (99.9%) of *Giardia* and *Cryptosporidium*.
 - 4-log reduction (99.9%) of viruses.
- Treatment must also limit corrosion of water distribution and/or plumbing systems and reduce odors.

Federal Guidelines for Monitoring Public Drinking Water Supplies require annual testing of raw water and treated water for compliance. A more in-depth assessment is required every five years.

Results

From July to September 2024, all weekly, monthly, and quarterly regulatory testing and in-house daily testing complied with the Approval requirements.

The following table summarizes the sampling results for this quarter, including parameters identified in the Approval to Operate. This table reports periodic turbidity and chlorine residual testing, but not continuous testing. Turbidity and chlorine residual are continuously monitored and recorded on the WTP Supervisory Control and Data Acquisition (SCADA) system. There are safeguards in place that automatically raise alarms for the operator and shut down equipment when the required conditions are not met.

Parameter Tested	Approval Limit	Exceeded Approval Limit
Lead	<0.005 mg/L	None
Manganese	<0.12 mg/L	None
Trihalomethanes	<0.1 mg/L	None
Haloacetic Acids	<0.08 mg/L	None
Turbidity	<0.1 NTU 99% of the time, and not to exceed 0.3 NTU	None
Chlorine Residual	0.2-4.0 mg/L	None
Total Coliforms	None/100 mL	None
Fecal Coliforms	None/100 mL	None
Comment: None		

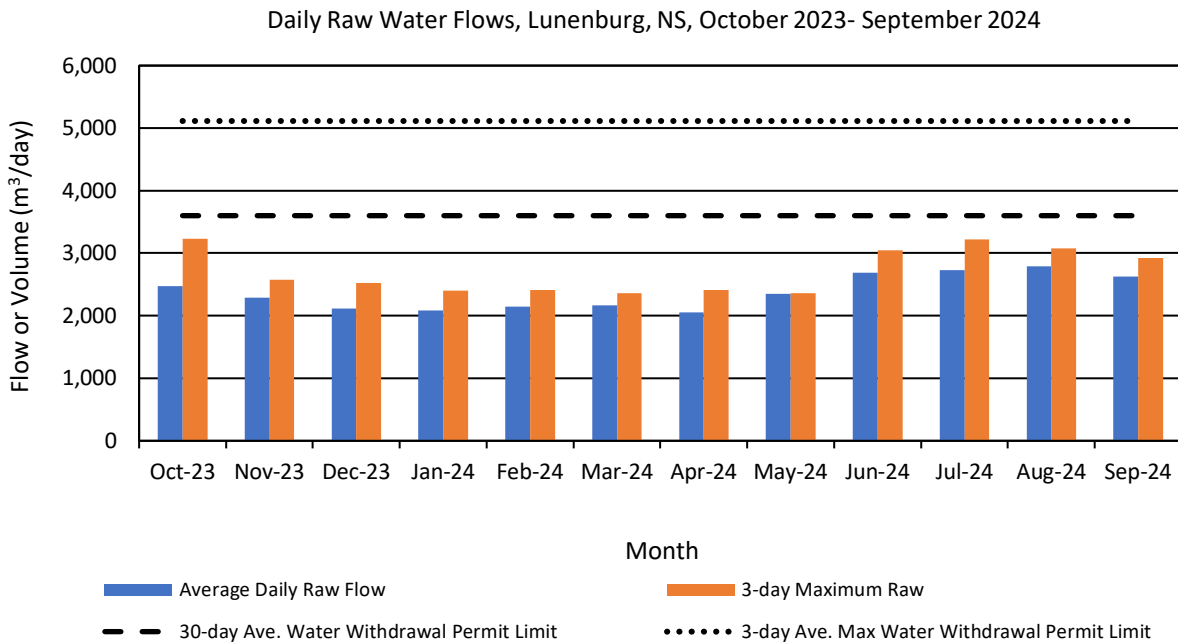
2.0 Raw and Treated Water Flows

The WTP withdraws water from Dares Lake and can withdraw water at a rate outlined in the Approval to Withdraw Water. The approved rates of withdrawal as of July 31, 2022, are as follows:

- Average rate of withdrawal: 3,600,000 L/day (averaged over 30 days).
- Maximum rate of withdrawal: 5,114,000 L/day (averaged over 3 days).

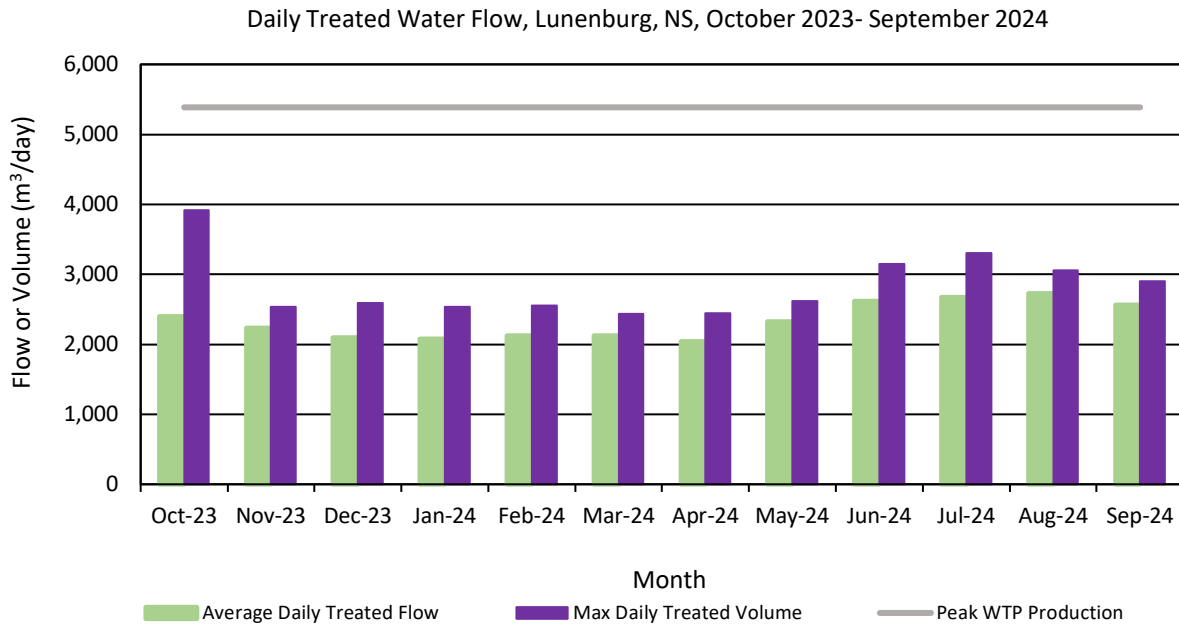
Average and Maximum Daily Flow of Raw Water:

The following graph shows the historical monthly flows and the 3-day maximum flows for the raw water entering the WTP over the past year, inclusive of this quarter:



Average and Maximum Daily Flow of Treated Water:

The following graph shows the historical average daily flows and the maximum daily flow for the treated water from the WTP over the past year, inclusive of this quarter:



Results

The average daily raw water flow did not exceed the 30-day average Water Withdrawal Permit Limit during this quarter.

The 3-day maximum average withdrawal limit was not exceeded this quarter.

The treated water flow did not exceed the peak production rate within this quarter.

3.0 Water Main Breaks and Repairs:

There were three leaks reported in this quarter, which are detailed in the following table:

Month	Date	Street	Address or Block	Problem or Cause
July	14	Green	139	Complaint of potential water leak. Had leak detection Contractor out and unable to find evidence of leak.
July	16	Prince	94	Leak identified in hydrant valve.
August	24	Pelham	28	Leak identified in 4" main. It was fixed with clamp.

4.0 Complaints

The complaints reported this quarter are detailed in the following table:

Month	Date	Street	Address or Block	Problem or Cause
July	11	Broad St	150	Resident reported discolored water running from tap. There were no other similar complains in the area therefore it was suggested they flush their line in their bathtub (cold water only) until discoloration was removed.

Strategic Plan Relevance

Strategic Planning Goal #3. A. (a.) of the Town's Strategic Plan is to "Champion opportunities for our community's health and well-being by ... Protecting our natural environment ... Continue to provide solid waste management, sewage treatment and high-quality water to all of our residents".

Relevant Legislation/Approvals

The TOL water system operates according to two Nova Scotia Environment Approvals:

- Approval for Operation – Water Treatment Facility (Approval # 2010-071794-02)
- Approval to Withdraw Water – Dares Lake (Approval # 2011-079411-01)

Financial

Funds are included in the WTP operating budget to pay for these water quality tests.

Subject: Wastewater, Quality Test Results: July to September 2024
From: Tyson Joyce, Town Engineer
Date: February 11, 2025



Recommendation

This is an information report. No decision of Council is required.

Background

The Nova Scotia Environment “Approval” documents to operate the Wastewater Treatment Plant (WWTP) (Class II wastewater treatment facility) require that certain tests be carried out to verify the quality of treated wastewater at the plant. There are also Federal testing standards that must be followed. Routine testing is conducted both in Town of Lunenburg (TOL) labs at the WWTP and by independently accredited laboratories to determine compliance levels with both Provincial and Federal standards. If any test result do not meet the standards, then explanations are provided. This report provides a monthly and quarterly summary of the wastewater quality test results.

The timing of this document follows the testing schedule at the WWTP, which is performed on a quarterly cycle. The next Council report will be prepared at the end of next quarter.

At the end of each year, an annual report is prepared for the treatment plant and filed with the Provincial and Federal governments.

Discussion

The Lunenburg WWTP was issued an amended Approval to Operate by Nova Scotia Environment and Climate Change (NSECC) in 2023. The requirements of this Approval, as well as the Federal wastewater quality requirements, are summarized in the following tables:

Provincial Approval 2012-082710-03 Testing Requirements

Treated wastewater must be tested a minimum of five times per month (once per week) for:

- Carbonaceous Biochemical Oxygen Demand (CBOD, maximum 20 mg/L)
 - Suspended Solids (SS, maximum 20 mg/L)
 - *E. coli* (maximum 1000 counts/100 mL)
 - pH (acceptable pH is in the range 6.0 - 9.0)
- The facility is in “compliance with the treated effluent discharge criteria if the average value calculated for the averaging period meets the specified limits. All average residuals shall be the arithmetic mean with the exception of *E. coli*, which shall be the geometric mean.” The averaging period is defined as quarterly.

Federal Wastewater Systems Effluent Regulations Testing Requirements

Treated wastewater must be tested every two weeks for:

- Carbonaceous Biochemical Oxygen Demand (CBOD maximum 25 mg/L)
 - Total Suspended Solids (TSS maximum 25 mg/L)
 - Un-ionized ammonia (maximum 1.25 mg/L) and
 - pH (between 5.5 - 9.5)
- Acute Lethality Tests are mandated to be conducted quarterly. In this test, rainbow trout are used to determine if they can survive in wastewater effluent over a 96-hour period. According to the regulations, if four consecutive Acute Lethality Tests pass when taken quarterly (over a year), then the testing for acute lethality can be reduced to once per year. The WWTP is currently on the reduced program of one lethality test per year.

Results

The required number of tests per month for CBOD, SS, *E. coli* and pH were carried out, and all pH tests were within the required ranges.

Quarterly Averages:

Quarterly averages for this reporting period are summarized in the following table. As per the Approval, an arithmetic mean is used for CBOD and SS, and a geometric mean is used for *E. coli*.

Quarter	Quarterly Average		
	CBOD (20 mg/L)	TSS (20 mg/L)	<i>E. coli</i> (1000 counts/100 mL)
Qtr. 1 2024	8.4	9.9	366

All CBOD and TSS test results met the Provincial and Federal requirements this quarter. It should be noted that there were several individual *E. coli* test results measured well above the Provincial limits this quarter ranging from 2,100 to 2,500 counts/100mL but on the quarterly geometric average basis (which is the basis for meeting the requirements in the Provincial Approval) *E. coli* test results met the Provincial requirements this quarter.

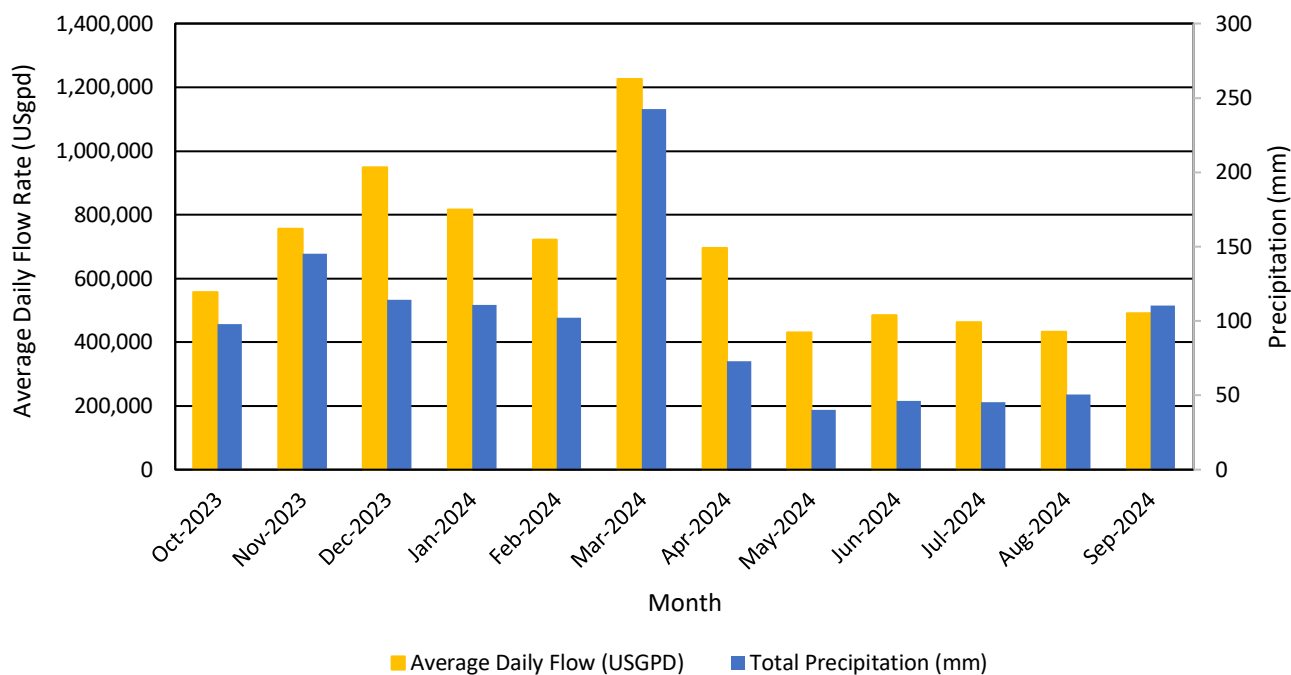
Lethality Testing:

According to the *Wastewater Systems Effluent Regulations* we are now only required to test for acute lethality yearly because the last six consecutive samples passed the test requirements. The next acute lethality test will be performed in November 2024.

Average Monthly Daily Flow of Wastewater with Total Monthly Precipitation:

The following graph shows the monthly flows for the wastewater treatment plant over the past year, along with the total monthly precipitation. Total precipitation data was taken from Western Head, Nova Scotia.

Average Daily Flow of Treated Wastewater, Lunenburg, NS,
October 2023 – September 2024



Sewer Breaks and Repairs:

There were no sewer breaks recorded this quarter.

Complaints:

There were no complaints recorded this quarter.

Overflows:

There was an overflow event reported this quarter, which is detailed in the following table:

Date	Lift Station	Address	Estimated Overflow (USg)	Problem or Cause
September 7	Young Street	37 Young St	44	Stormwater due to rain event.
	Knickle Road	40 Knickle Road	8,888	
	Back Harbour	171 Prince St	18,956	
	Fisherman's Wharf	34 Bluenose Dr	2,324	
	Bluenose Drive	176 Bluenose Drive	110,616	
	Rous Brook	344 Pelham St	2,792	
	Brook Street	3 Brook Street	36,445	

Strategic Plan Relevance

Strategic Planning Goal #3. A. (a.) of the Town's Strategic Plan is to "Champion opportunities for our community's health and well-being by ... Protecting our natural environment ... Continue to provide solid waste management, sewage treatment and high-quality water to all of our residents".

Financial

Funds are included in the Wastewater Treatment Plant operating budget to pay for these effluent quality tests.